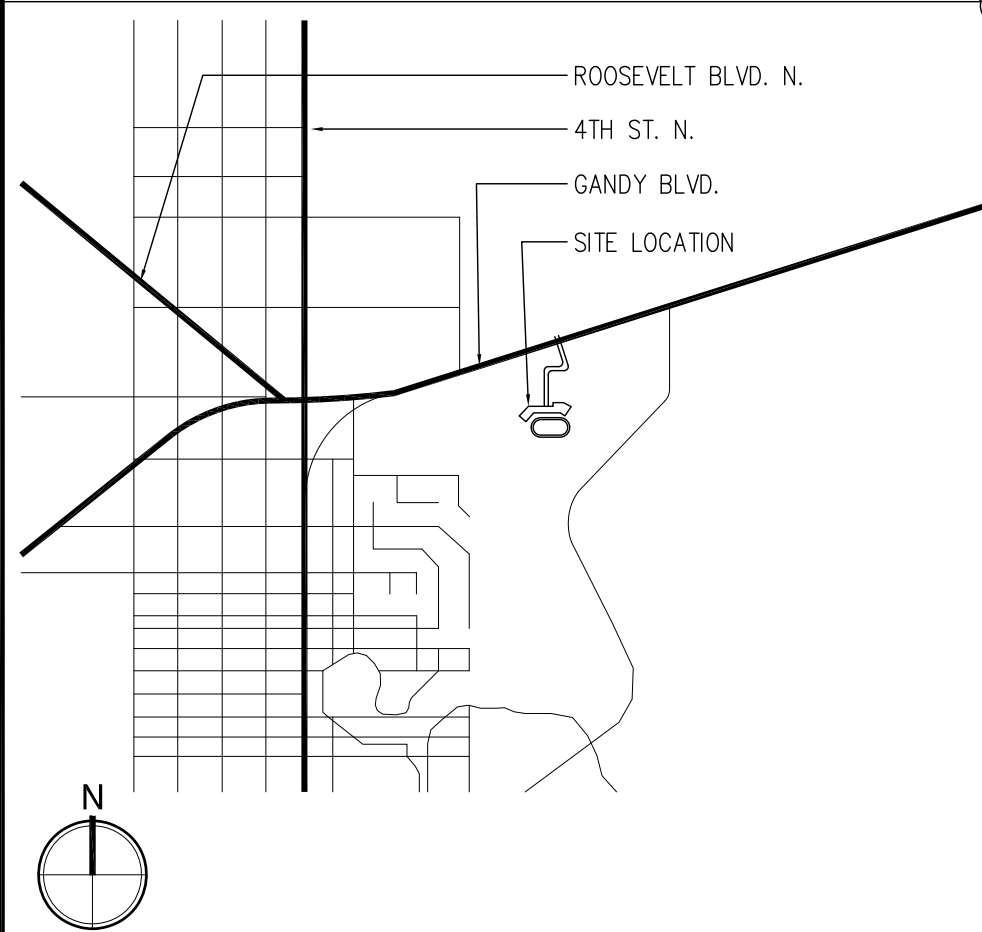


## GENERAL NOTES

- ALL WORK LISTED, SHOWN OR IMPLIED ON ANY OF THE CONTRACT DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR EXCEPT WHERE NOTED. THE CONTRACTOR SHALL CLOSELY COORDINATE WORK WITH THAT OF OTHER SUBCONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND ALL WORK IS DONE IN CONFORMANCE WITH THE MANUFACTURERS REQUIREMENTS OF GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
- CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING CONDITIONS AND COORDINATION OF ALL WORK TO ENSURE COMPLETE COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS. REPORT ANY DISCREPANCIES OR POTENTIAL PROBLEMS TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH WORK. FAILURE TO DO SO SHALL CONSTITUTE ACCEPTANCE OF EXISTING CONDITIONS. IN THE EVENT THAT THERE ARE DISCREPANCIES OR AMBIGUITIES IN, OR OMISSIONS FROM, THE DRAWINGS OR SPECIFICATIONS, OR SHOULD THERE BE DOUBT AS TO THEIR MEANING AND INTENT, THE ARCHITECT SHALL BE NOTIFIED TO PROVIDE A WRITTEN CLARIFICATION.
- ALL WORK UNDER THE CONTRACT IS TO BE PERFORMED TO PROVIDE A COMPLETE AND FINISHED PRODUCT, AND SHALL BE WARRANTED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE AGAINST ANY DEFECTS OR DEFICIENCIES.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE EXECUTION OF WORK. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PROTECTION AND OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND THE PROPERTY THROUGHOUT THE ENTIRE PERIOD OF CONSTRUCTION.
- THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF ALL WORK FROM DAMAGE AND SHALL PROTECT THE ADJACENT PROPERTIES FROM INJURY OR LOSS ARISING IN CONNECTION WITH WORK. EXTREME CARE SHALL BE EXERCISED TO PREVENT DAMAGE TO NEW AND EXISTING EQUIPMENT, STRUCTURES AND SERVICES.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD, CLEAN CONDITION AND SHALL BE RESPONSIBLE FOR CONTINUOUS CLEAN UP OF ALL DEBRIS.
- PENETRATIONS TO FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A U.L. APPROVED FIRE-STOP SYSTEM.
- THE DESIGN, ADEQUACY AND SAFETY OF ERECTING ANY BRACING, SHORING OR TEMPORARY SUPPORTS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF FINISH MATERIALS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS, PROCEDURES AND SEQUENCES OF THE PROJECT.
- THE CONTRACTOR SHALL RETAIN A CURRENT AND COMPLETE SET OF THE CONTRACT DOCUMENTS AT THE JOBSITE DURING ALL PHASES OF THE WORK. ALL REVISIONS SHALL BE RECORDED BY THE CONTRACTOR TO ESTABLISH A RECORD SET OF DOCUMENTS FOR THE PROJECT.

## LOCATION



## ABBREVIATIONS

A/C	AIR CONDITIONING	DIM	DIMENSION	GA	GAUGE	MFR	MANUFACTURER	SIM	SIMILAR
ACT	ACOUSTICAL CEILING TILE	DN	DOWN	GALV	GALVANIZED	MIN	MINIMUM	SLNT	SEALANT
AFB	ABOVE FINISH FLOOR	DWG	DRAWING	GC	GENERAL CONTRACTOR	MISC	MISCELLANEOUS	SPAN	SPANREL
ALT	ALTERNATE	EJ	EXPANSION JOINT	CLA	GLASS/GLAZING	MTD	MOUNTED	SPEC	SPECIFICATION
ALUM	ALUMINUM	EL	ELEVATION	GYP BD	GYP/SD BOARD	NIC	NOT IN CONTRACT	SQ	SQUARE
APPROX	APPROXIMATE	ELEC	ELECTRIC(AL)	HCP	HANDICAP(PED)	NTS	NOT TO SCALE	SST	STAINLESS STEEL
BLDG	BUILDING	EP	ELECTRICAL PANEL	HDR	HEADER	OC	ON CENTER	STRUCT	STRUCTURAL
BLKG	BLOCKING	EQ	EQUAL	HDW	HARDWARE	OD	OUTSIDE DIAMETER	SUSP	SUSPENDED
BOT	BOTTOM	EQUIP	EQUIPMENT	HM	HOLLOW METAL	OPP	OPPOSITE	TEMP	TEMPERED
CAB	CABINET	EXIST	EXISTING	HORIZ	HORIZONTAL	OPNG	OPENING	THK	THICK(NESS)
CG	CORNER GUARD	EXP	EXPANSION	HT	HEIGHT			TYP	TYPICAL
CLG	CEILING	EXT	EXTERIOR	HVAC	HEATING VENTILATION AIR CONDITIONING			UNO	UNLESS NOTED OTHERWISE
CLR	CLEAR	FE	FIRE EXTINGUISHER	INSUL	INSULATION	PLAM	PLASTIC LAMINATE	VERT	VERTICAL
COL	COLUMN	FEC	FIRE EXTINGUISHER CABINET	JAN	JANITOR	PNL	PANEL	VEST	VESTIBULE
CONC	CONCRETE	FIN	FINISH	LAM	LAMINATE(D)	PR	PAIR	VF	VERIFY IN FIELD
CONSTR	CONSTRUCTION	FLR	FLOOR	LAV	LAVATORY	R	RADIUS	VNR	VENEER
CONT	CONTINUOUS	FD	FLOOR DRAIN	MAX	MAXIMUM	REF	REFERENCE	W/	WITH
CORR	CORRIDOR	FLUOR	FLUORESCENT	MECH	MECHANICAL	REINF	REINFORCE	W/O	WITHOUT
CTR	CENTER	FOS	FACE OF STUD	MTL	METAL	REQD	REQUIRED	WB	WHITEBOARD
DEMO	DEMOLITION	FOC	FACE OF CONCRETE			REV	REVISION	WD	WOOD
DF	DRINKING FOUNTAIN	FOF	FACE OF FINISH			SC	SOLID CORE	WT	WEIGHT
DIA	DIAMETER	FT	FOOT/FEET			SECT	SECTION		
		FURG	FURRING			SHT	SHEET		

## PLAN REVIEW DATA

PROJECT CRITERIA - 2007 FLORIDA BUILDING CODE & EXISTING BUILDING CODE  
W/2009 SUPPLEMENTS

LEVEL-2 ALTERATION OF EXISTING RESTROOMS. AREA OF ALTERATION WORK IS 1,080 SF.

CLASSIFICATION BY OCCUPANCY: ASSEMBLY (GROUP A-2)

TYPE OF CONSTRUCTION: TYPE I - UNPROTECTED (B)  
UNSPRINKLERED

FIRE-RESISTANCE RATING REQUIREMENTS FOR BLDG ELEMENTS PER FBC CHAPTER 6

BUILDING ELEMENT	HOURS
STRUCTURAL FRAME	2
BEARING WALLS	
EXTERIOR	3
INTERIOR	3
NONBEARING WALLS	
INTERIOR	0
FLOOR CONSTRUCTION	2
ROOF CONSTRUCTION	1

OCCUPANT LOAD CALCULATIONS PER FBC CHAPTER 10 PROVIDED

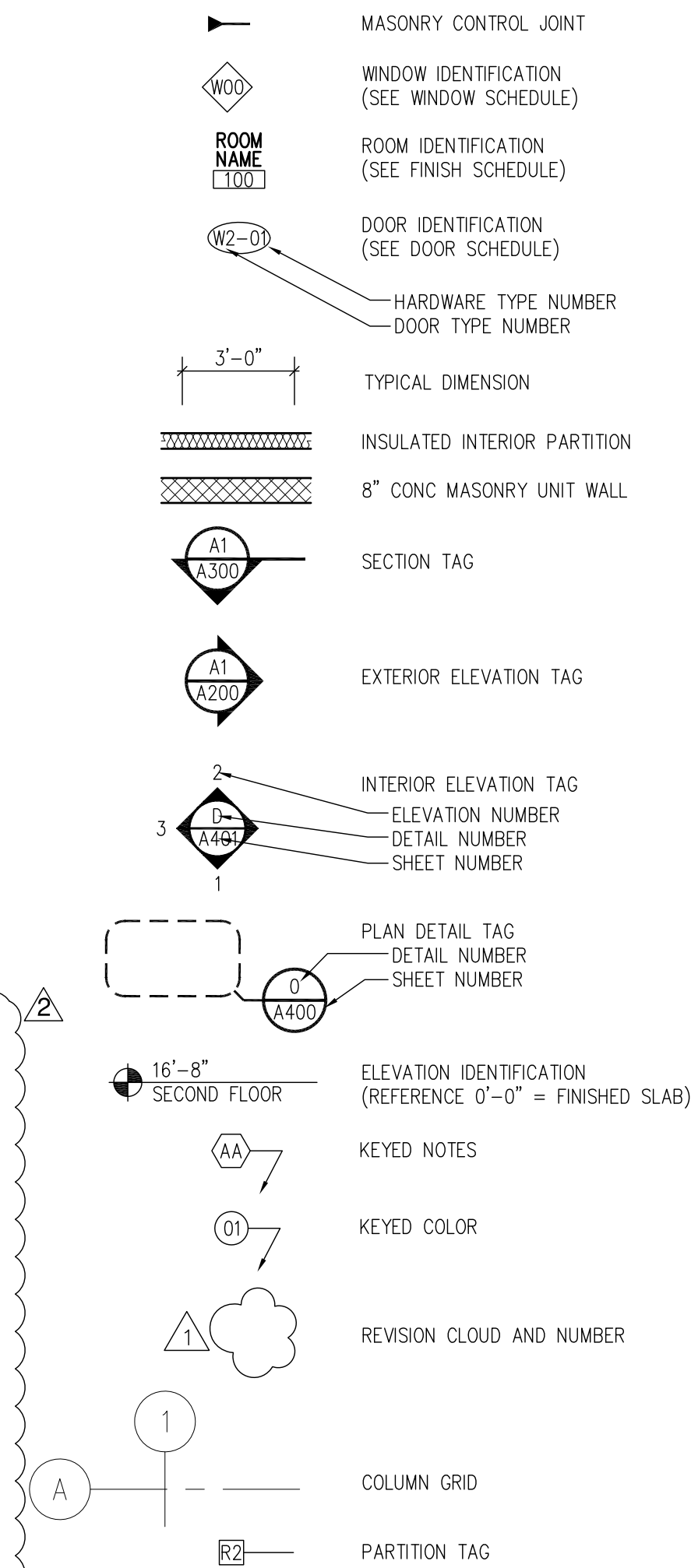
ASSEMBLY WITHOUT FIXED SEATS (UNCONCENTRATED)	PROVIDED
ASSEMBLY WITHOUT FIXED SEATS	2,110 SF/15 NET 141 OCCUPANTS
ASSEMBLY WITHOUT FIXED SEATS (STANDING SPACE)	6,580 SF/5 NET 1,316 OCCUPANTS
KITCHENS, COMMERCIAL	2,903 SF/200 GROSS 15 OCCUPANTS
TOTAL:	1,472 OCCUPANTS

MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES PER FBC PLUMBING CHAP 4  
GROUP A-2

	REQD	PROVIDED
WATER CLOSETS (MALE)	8	12
WATER CLOSETS (FEMALE)	12	5*
WATER CLOSETS (UNISEX)	1**	1
TOTAL WATER CLOSETS	20	18*
*REDUCTION OF FIXTURES WAS APPROVED BY THE BUILDING DEPARTMENT		
**REQUIRED UNISEX FIXTURES ARE INCORPORATED INTO THE TOTAL FIXTURE COUNT		
LAVATORIES (MALE)	4	5
LAVATORIES (FEMALE)	4	3
LAVATORIES (UNISEX)	1**	1
TOTAL LAVATORIES	8	9
**REQUIRED UNISEX FIXTURES ARE INCORPORATED INTO THE TOTAL FIXTURE COUNT		
BATHTUBS/SHOWERS	0	0
DRINKING FOUNTAIN	1	2
OTHER	0	0

CODES  
2007 FLORIDA BUILDING CODE W/2009 SUPPLEMENTS  
2007 N.F.P.A. - LIFE SAFETY CODE  
2007 FLORIDA MECHANICAL CODE  
2007 FLORIDA PLUMBING CODE  
2007 FLORIDA GAS CODE  
2007 NATIONAL ELECTRIC CODE

## GRAPHIC SYMBOLS



## INDEX OF DRAWINGS

ARCHITECTURAL

- A000 INDEX SHEET
- A000 CONSTRUCTION STAGING AREA
- A100 DEMOLITION PLANS - LOWER LEVEL
- A101 ENLARGED DEMOLITION PLANS
- A102 DEMOLITION PLANS - UPPER LEVEL
- A100 LIFE SAFETY & FLOOR PLANS - LOWER LEVEL
- A101 FLOOR PLANS - UPPER LEVEL
- A400 LARGE SCALE PLANS
- A401 LARGE SCALE PLANS, SECTIONS & DETAILS
- A402 INTERIOR ELEVATIONS
- A600 SCHEDULES

STRUCTURAL

- S101 EXISTING & NEW SLAB PENETRATION LOCATIONS
- S102 STRUCTURAL SPECIFICATIONS & TYPICAL DETAILS

MECHANICAL

- M100 FLOOR PLAN - MECHANICAL
- M101 FLOOR PLAN - MECHANICAL
- M500 DETAILS - MECHANICAL
- M501 CONTROLS - MECHANICAL
- M600 SCHEDULES - MECHANICAL

PLUMBING

- P400 ENLARGED FLOOR PLAN - PLUMBING
- P500 NOTES - PLUMBING
- P501 DETAILS - PLUMBING
- P900 ISOMETRICS - PLUMBING

ELECTRICAL

- E100 GRANDSTAND RESTROOMS FLOOR PLAN - ELECTRICAL
- E200 LEGEND DETAILS & SCHEDULE

## PRODUCT APPROVAL INFORMATION

PRODUCT CATEGORY	SUBCATEGORY	MANUFACTURER	APPROVAL NUMBER	DATE APPROVED
EXTERIOR DOORS	IN-SWINGING	INGERSOLL-RAND	NOA 09-0929.05	2/24/10
LOUVERS	STATIONARY LOUVERS	RUSKIN	NOA 06-0602.04	8/3/06

PRIOR TO INSPECTION, GENERAL CONTRACTOR SHALL SUBMIT THREE COPIES OF ONE OF THE FOLLOWING, TO THE BUILDING DEPARTMENT, FOR DOOR INSTALLATION DETAILS:

- MIAMI DADE NOA WITH INSTALLATION DETAILS
- FLORIDA BUILDING COMMISSION APPROVED TEST REPORT & SEALED INSTALLATION DETAILS
- COPIES OF OTHER APPROVED CERTIFICATION AGENCIES TEST REPORTS & SIGNED AND SEALED INSTALLATION DETAILS

# ST. PETERSBURG KENNEL CLUB GRANDSTAND RESTROOMS

10490 Gandy Blvd  
St. Petersburg, Florida 33702

### Owner

St. Petersburg Kennel Club, Inc.  
10490 Gandy Boulevard  
St. Petersburg, Florida 33702  
(727) 812-3339

### Architect

ARC3 Architecture  
6671 13th Avenue North, Suite 1C  
St. Petersburg, Florida 33710  
(727) 381-5220

### Structural Engineer

Fullone Structural Group  
204 37th Avenue North, #219  
St. Petersburg, Florida 33704  
(727) 498-7802

### Mechanical/ Plumbing/ Fire Protection Engineer

Mechanical Engineering Solutions, Inc.  
5421 Beaumont Center Boulevard, Suite 675  
Tampa, Florida 33634  
(813) 885-9600

### Electrical Engineer

Harold Hart & Associates, Inc.  
4201 West Gray Street  
Tampa, Florida 33609  
(813) 287-2719

# ARC3 architecture

6671 13th Avenue North, Suite 1C  
St. Petersburg, FL 33710  
(727) 381-5220  
(727) 381-0052 fax

## Construction Documents

Firm Registration AA-26000510  
Steven J. Vinci, AIA AR-0017036

Signature \_\_\_\_\_ Date \_\_\_\_\_

## ST. PETERSBURG KENNEL CLUB

Renovation

Project Location:  
10490 Gandy Blvd  
St. Petersburg, Florida 33702

## REVISIONS

No.	Date	Revision
1	08-13-10	Addendum Number #1
2	09-20-10	Fixture Count Reduction

Drawn By: JA  
Checked By: JF

Index Sheet

# A000

Project: 10001-2  
Date: August 04, 2010

## Construction Documents

Firm Registration AA-26000510  
 Steven J. Vinci, AIA AR-0017036

Signature \_\_\_\_\_ Date \_\_\_\_\_

### ST. PETERSBURG KENNEL CLUB Renovation

Project Location:  
 10490 Gandy Blvd  
 St. Petersburg, Florida 33702

#### REVISIONS

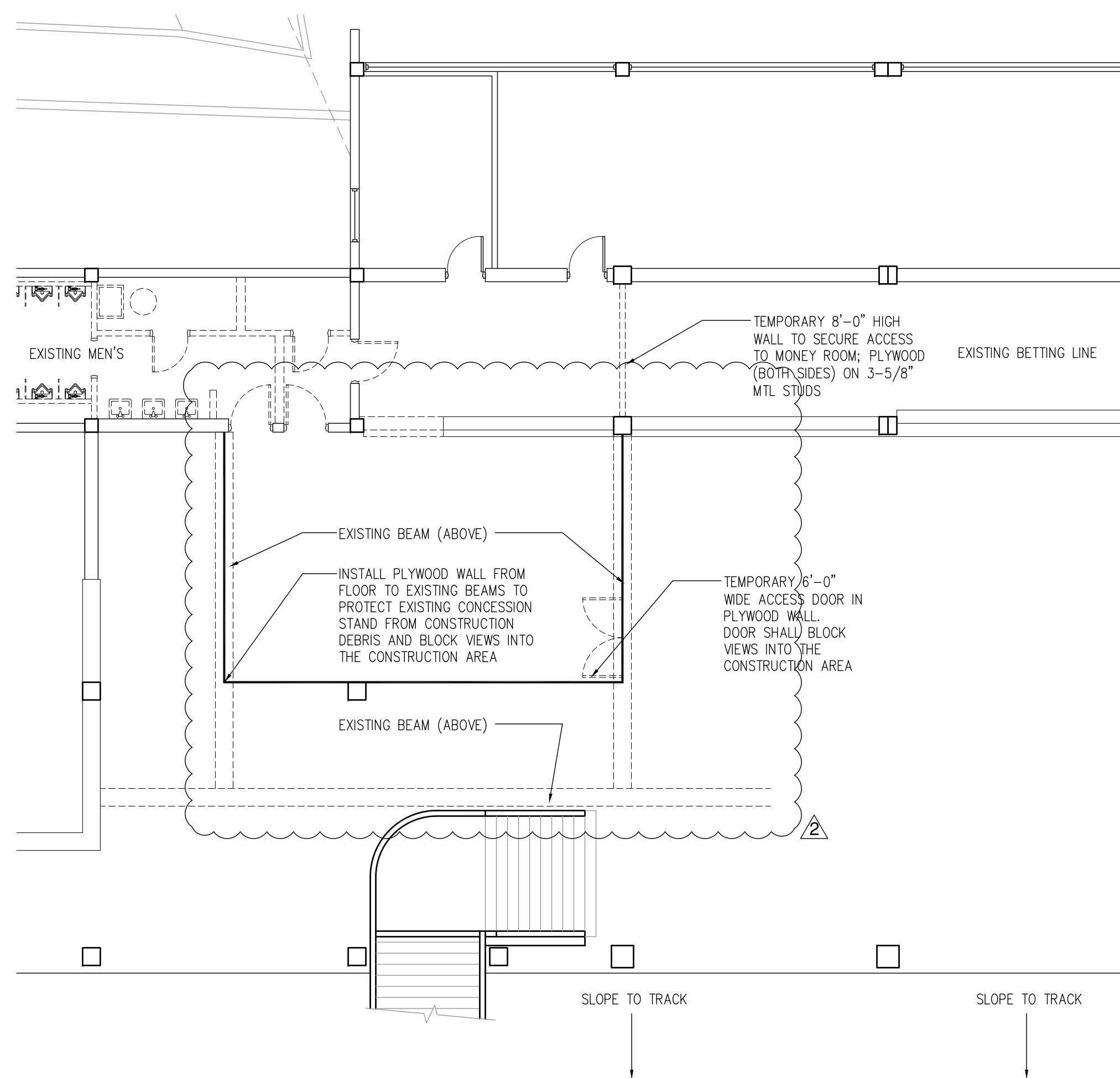
No.	Date	Revision
▲	08-13-10	Addendum Number #1
▲	09-20-10	Fixture Count Reduction

Drawn By: JA  
 Checked By: JF

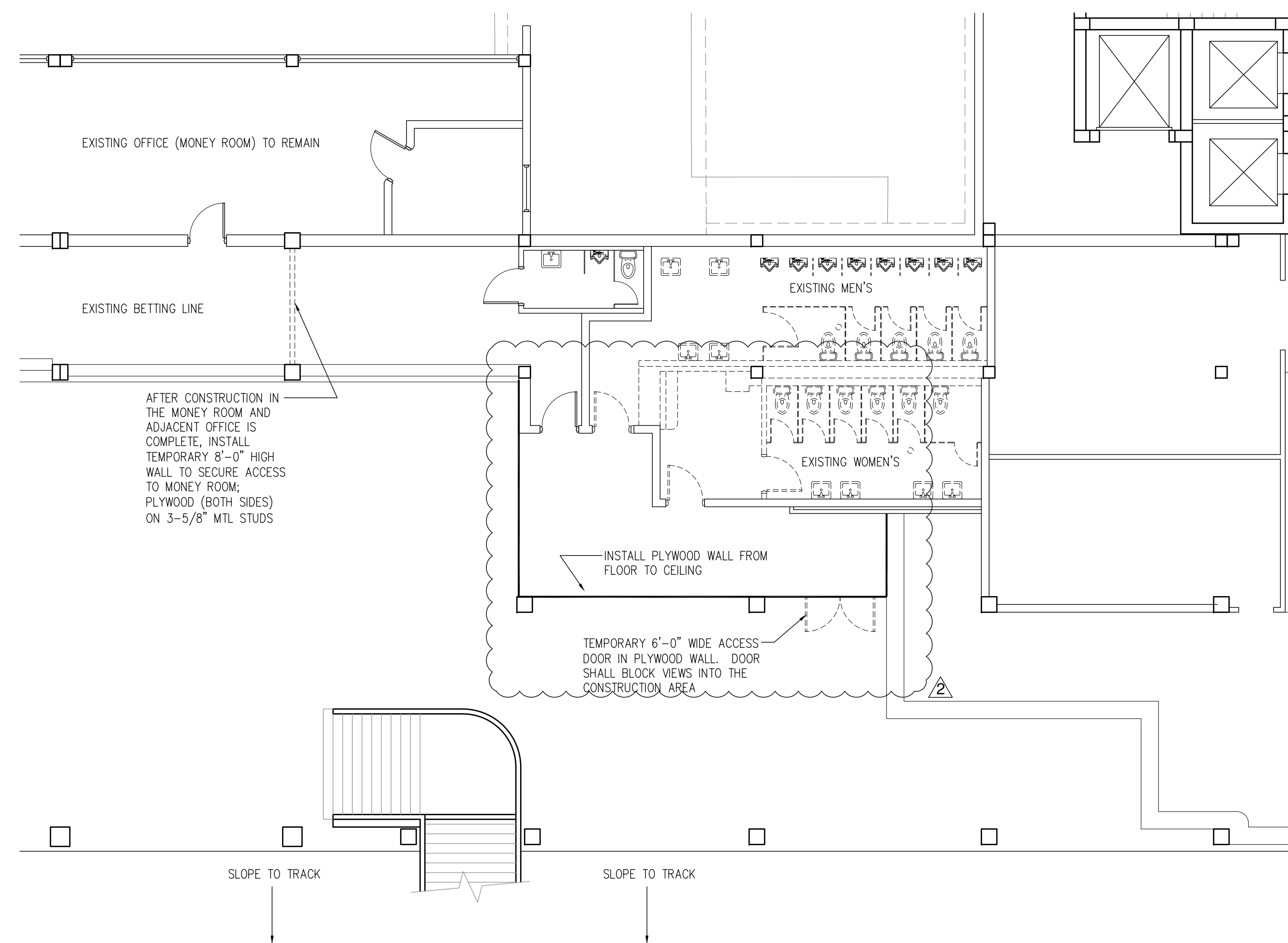
### Construction Staging Area

# AD000

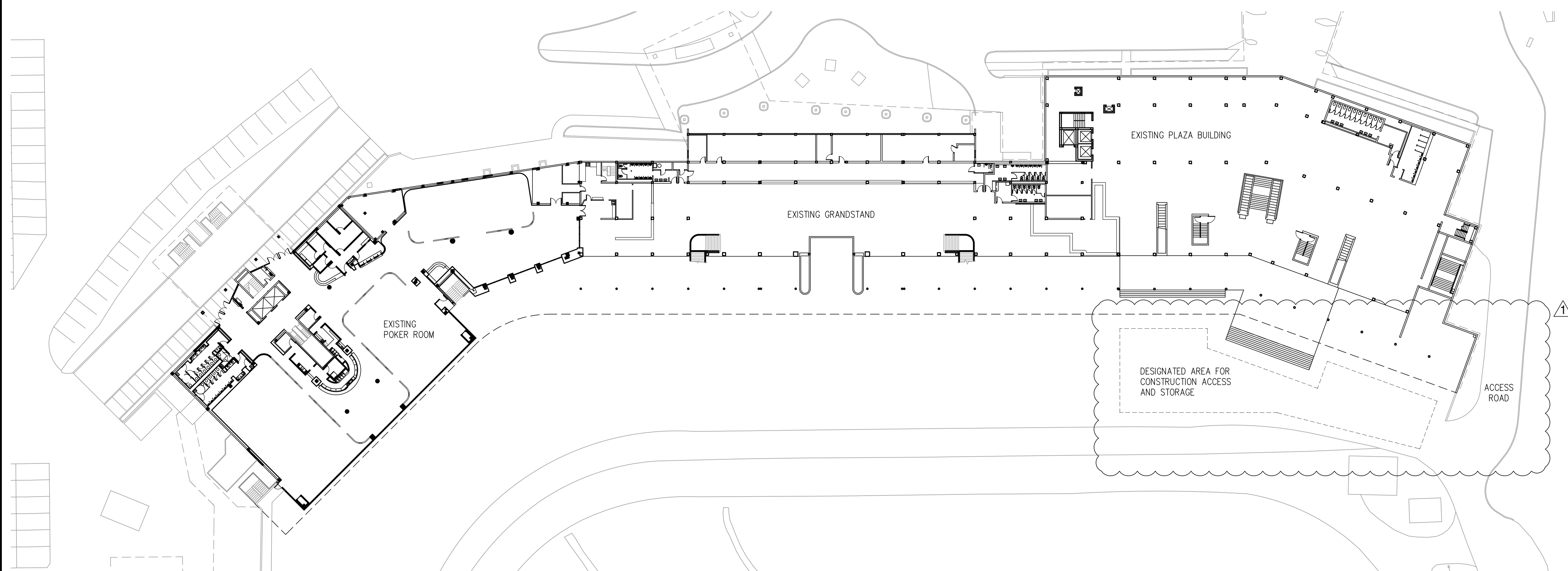
Project: 10001-2  
 Date: August 04, 2010



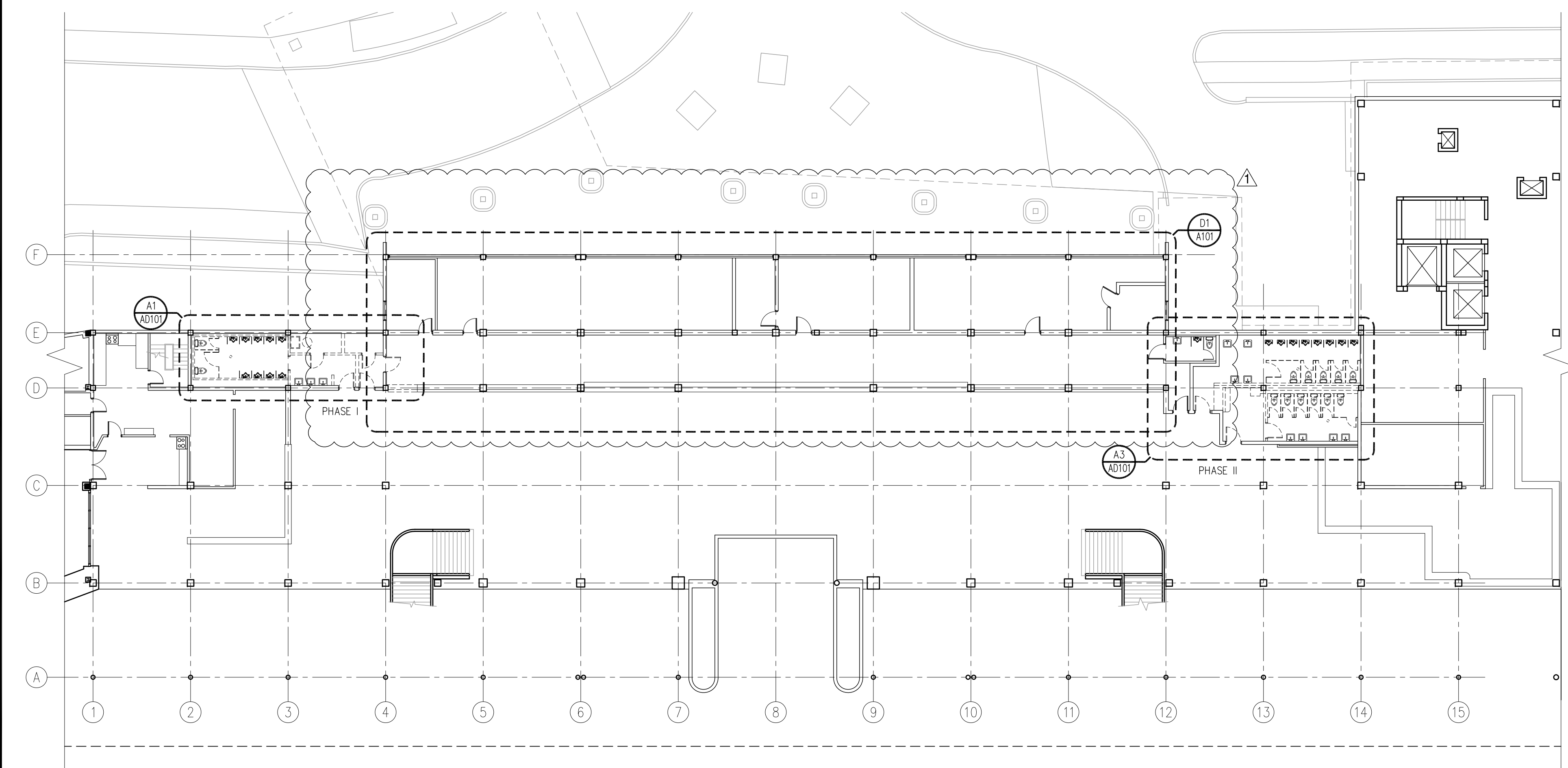
**A1** Phase One Staging Area  
 SCALE: 1/8" = 1'-0"



**A3** Phase Two Staging Area  
 SCALE: 1/8" = 1'-0"



**C1** Key Plan - Lower Level  
SCALE: 1" = 40'-0"



**A1** Demolition Floor Plan - Lower Level  
SCALE: 1/16" = 1'-0"

**DEMOLITION NOTES**

1. THE DEMOLITION DRAWINGS HAVE BEEN DEVELOPED FROM SITE INVESTIGATION AND EXISTING DRAWINGS, "WHICH WERE PROVIDED TO THE ARCHITECT/ENGINEER BY THE OWNER," AND THEY MAY NOT REFLECT ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THESE DRAWINGS WITH EXISTING FIELD CONDITIONS; AND HE SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF INCONSISTENCIES BETWEEN THESE DRAWINGS AND ACTUAL CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
2. GENERAL CONTRACTOR AND HIS SUB-CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATORY AGENCIES AND THEIR CODES AND REGULATIONS FOR NEW CONSTRUCTION AND DEMOLITION WORK.
3. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY IF ANY WORK INDICATED IN THE CONSTRUCTION DOCUMENTS CANNOT BE PERFORMED DUE TO EXISTING FIELD CONDITIONS.
4. REMOVE EXISTING CONSTRUCTION AS INDICATED. TYPICAL WALL REMOVAL INCLUDES MECHANICAL, PLUMBING, ELECTRICAL COMMUNICATIONS AND INFORMATION SYSTEMS CONTAINED THEREIN. REMOVE DOORS, CASEWORK, WINDOWS, FRAMES, FINISHES AND OTHER FIXTURES AS REQUIRED. AFTER REMOVAL OF PIPE CHASES, PATCH HOLES IN EXISTING FLOORS OR WALLS TO REMAIN TO MEET ORIGINAL FIRE RESISTIVE RATINGS, FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PATCH ADJOINING WALLS, FLOOR AND DECK ABOVE. PREPARE SURFACES TO RECEIVE NEW FINISH PER ARCHITECTS DRAWINGS, SCHEDULES, LEGENDS AND SPECIFICATIONS. (WHERE NEW FINISH IS CALLED FOR ON EXISTING SURFACE, REMOVE THE EXISTING FINISH AND PREPARE SURFACE TO RECEIVE THE NEW FINISH.)
5. THE CONTRACTOR SHALL BRACE ALL EXISTING STRUCTURES AND ALL STRUCTURAL ELEMENTS AS NECESSARY DURING DEMOLITION.
6. PRIOR TO REMOVAL OR CUTTING OF OPENINGS THROUGH STRUCTURAL AND SLABS, CONTRACTOR WILL PROVIDE ADEQUATE SHORING FOR ROOF AND OTHER STRUCTURAL LOADS. SUPPORTS SHALL NOT BE REMOVED UNTIL NEW STRUCTURAL SYSTEM IS IN PLACE. CARE SHALL BE TAKEN SO AS NOT TO DAMAGE OR ALTER ANY EXISTING STRUCTURAL MEMBERS. THE ARCHITECT AND OWNER SHALL BE NOTIFIED IMMEDIATELY IF ANY DAMAGE OCCURS OR IS DISCLOSED DURING DEMOLITION.
7. THE CONTRACTOR SHALL NOT CUT STRUCTURAL WORK IN A MANNER RESULTING IN A REDUCTION OF LOAD CARRYING CAPACITY OR LOAD/DEFLECTION RATIO. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL STRUCTURAL CUTS PRIOR TO EXECUTION SO THAT APPROVAL CAN BE OBTAINED FROM THE ARCHITECT AND STRUCTURAL ENGINEER.
8. THE CONTRACTOR SHALL REPLACE OR REPAIR ANY EXISTING TO REMAIN FINISHES, ETC., WHICH ARE DAMAGED DURING DEMOLITION (I.E. - CEILING GRID, CEILING TILE, WALL COVERINGS, FLOOR COVERINGS, CORNER GUARDS, WALL GUARDS, HANDRAILS, CHAIR RAIL, MOULDINGS, ETC.).
9. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR ALL RUBBLE AND DEBRIS CAUSED BY DEMOLITION TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A PROPER MANNER.
10. THE SCOPE OF THE DEMOLITION SHALL NOT BE LIMITED TO THE CONTENTS OF THESE DRAWINGS BUT SHALL INCLUDE ANY AND ALL WORK REQUIRED TO FACILITATE THE NEW CONSTRUCTION AS DESCRIBED IN THESE DOCUMENTS.
11. COORDINATE REMOVAL OF ALL UNUSED UTILITIES AND CONDUIT WITH OWNER.

**ARC3**  
architecture

6671 13th Avenue North, Suite 1C  
St. Petersburg, FL 33710  
(727) 381-5220  
(727) 381-0052 fax

**Construction Documents**

Firm Registration AA-26000510  
Steven J. Vinci, AIA AR-0017036

Signature \_\_\_\_\_ Date \_\_\_\_\_

**ST. PETERSBURG  
KENNEL CLUB**  
Renovation

Project Location:  
10490 Gandy Blvd  
St. Petersburg, Florida 33702

REVISIONS		
No.	Date	Revision
▲	08-13-10	Addendum Number #1

Drawn By: JA  
Checked By: JF

**Demolition Plans -  
Lower Level**

**AD100**

Project: 10001-2  
Date: August 04, 2010

## Construction Documents

Firm Registration AA-26000510  
Steven J. Vinci, AIA AR-0017036

Signature \_\_\_\_\_ Date \_\_\_\_\_

### ST. PETERSBURG KENNEL CLUB Renovation

Project Location:  
10490 Gandy Blvd  
St. Petersburg, Florida 33702

#### REVISIONS

No.	Date	Revision
1	08-13-10	Addendum Number #1

Drawn By: JA  
Checked By: JF

Enlarged Demolition Plans

# AD101

Project: 10001-2  
Date: August 04, 2010

#### DEMOLITION KEYED NOTES

##### INTERIOR-EXTERIOR WALLS

- 02-01 DEMO EXISTING INTERIOR WALLS. PATCH AND PREP REMAINING TO RECEIVE NEW FINISH PER CONSTRUCTION DRAWINGS. PRIOR TO DEMOLITION, CONFIRM THAT WALL IS NOT STRUCTURAL OR THAT SPECIAL SHORING IS NOT REQUIRED BEFORE DEMOLITION BEGINS. LOCATE STRUCTURE TO REMAIN THAT IS WITHIN NON-STRUCTURAL SECONDARY CONSTRUCTION BEFORE DEMOLITION SO THAT IT MAY BE PROTECTED.
- 02-02 DEMO EXISTING MILLWORK AND PARTIAL HEIGHT CONCRETE KNEE WALL TO RECEIVE NEW WALL/DOOR PER CONSTRUCTION DRAWINGS. PATCH AND PREP REMAINING TO RECEIVE NEW FINISH PER CONSTRUCTION DRAWINGS. PRIOR TO DEMOLITION, LOCATE STRUCTURE TO REMAIN THAT IS WITHIN NON-STRUCTURAL SECONDARY CONSTRUCTION BEFORE DEMOLITION SO THAT IT MAY BE PROTECTED.
- 02-03 REMOVE STUCCO TO FACE OF BLOCK

##### CEILING

- 02-04 DEMO EXISTING CEILING TILES AND LIGHTS. REMOVE EXISTING SUPPLY DIFFUSERS, RETURN REGISTERS AND EXHAUST FANS, AND RELOCATE PER CONSTRUCTION DRAWINGS.
- 02-05 REMOVE EXISTING CEILING TILES WITH CAUTION AND PROTECT FOR RE-INSTALLATION; RETURN ANY UNUSED TILES TO OWNER. REMOVE EXISTING LIGHTS AND RETURN TO OWNER.
- 02-06 DEMO EXISTING CEILING TILES; REMOVE LIGHTS AND CEILING FIXTURES WITH CAUTION AND PROTECT FOR REINSTALLATION.
- 02-07 REMOVE A PORTION OF THE EXISTING CEILING TILES AS REQUIRED DURING DEMOLITION, AND PROTECT THE REMAINING TILES FOR REINSTALLATION.

##### FLOORING

- 02-08 DEMO EXISTING FLOOR TILE; REMOVE MUD BED AND PREP SLAB FOR NEW FLOORING PER CONSTRUCTION DRAWINGS.
- 02-09 DEMO EXISTING FLOOR TILE IN LOCATION TO RECEIVE NEW CLOSET FOR THE CONSTRUCTION DRAWINGS. REMOVE MUD BED DOWN TO THE ORIGINAL CONC SLAB; PATCH AND REPAIR AS REQUIRED.

##### DOORS

- 02-10 DEMO EXISTING INTERIOR DOOR; PATCH AND PREP FOR NEW DOOR/WALL PER CONSTRUCTION DRAWINGS.
- 02-11 DEMO EXISTING INTERIOR DOORS

##### SPECIALTIES

- 02-12 DEMO EXISTING TOILET PARTITIONS
- 02-13 DEMO EXISTING URINAL PARTITIONS

##### MILLWORK

- 02-14 DEMO EXISTING MILLWORK. PATCH AND REPAIR MILLWORK TO REMAIN WHERE REQUIRED.

##### PLUMBING

- 02-15 DEMO EXISTING PLUMBING FIXTURES. CAP SANITARY LINES AND PREP FOR NEW LOCATION PER CONSTRUCTION DRAWINGS.
- 02-16 CAP EXISTING FLOOR DRAIN TO BE RELOCATED PER CONSTRUCTION DRAWINGS.

##### MECHANICAL

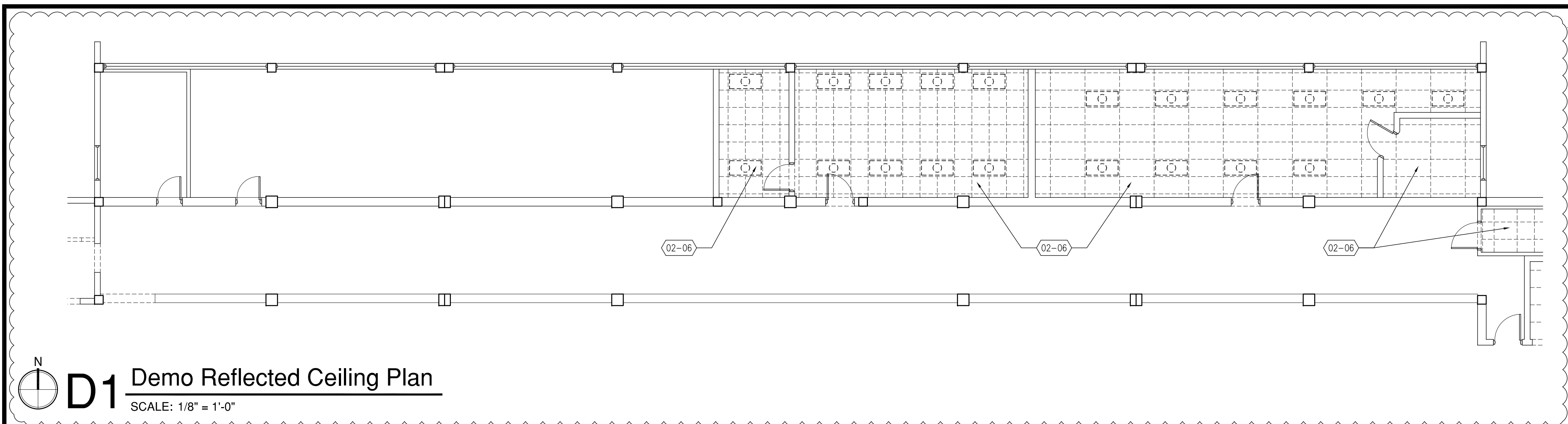
- 02-17 DEMO EXISTING STACK AND BRICK CHASE IN THEIR ENTIRETY, WHICH EXTEND THROUGH MULTIPLE LEVELS AND ROOF OF THE FACILITY. PATCH AND REPAIR FLOOR SLABS AND ROOF AS REQUIRED. CONTRACTOR TO FIELD VERIFY EXTENT OF WORK AND EXISTING CONDITIONS.

#### DEMOLITION LEGEND FOR RCP - 1/8" SCALE PLANS

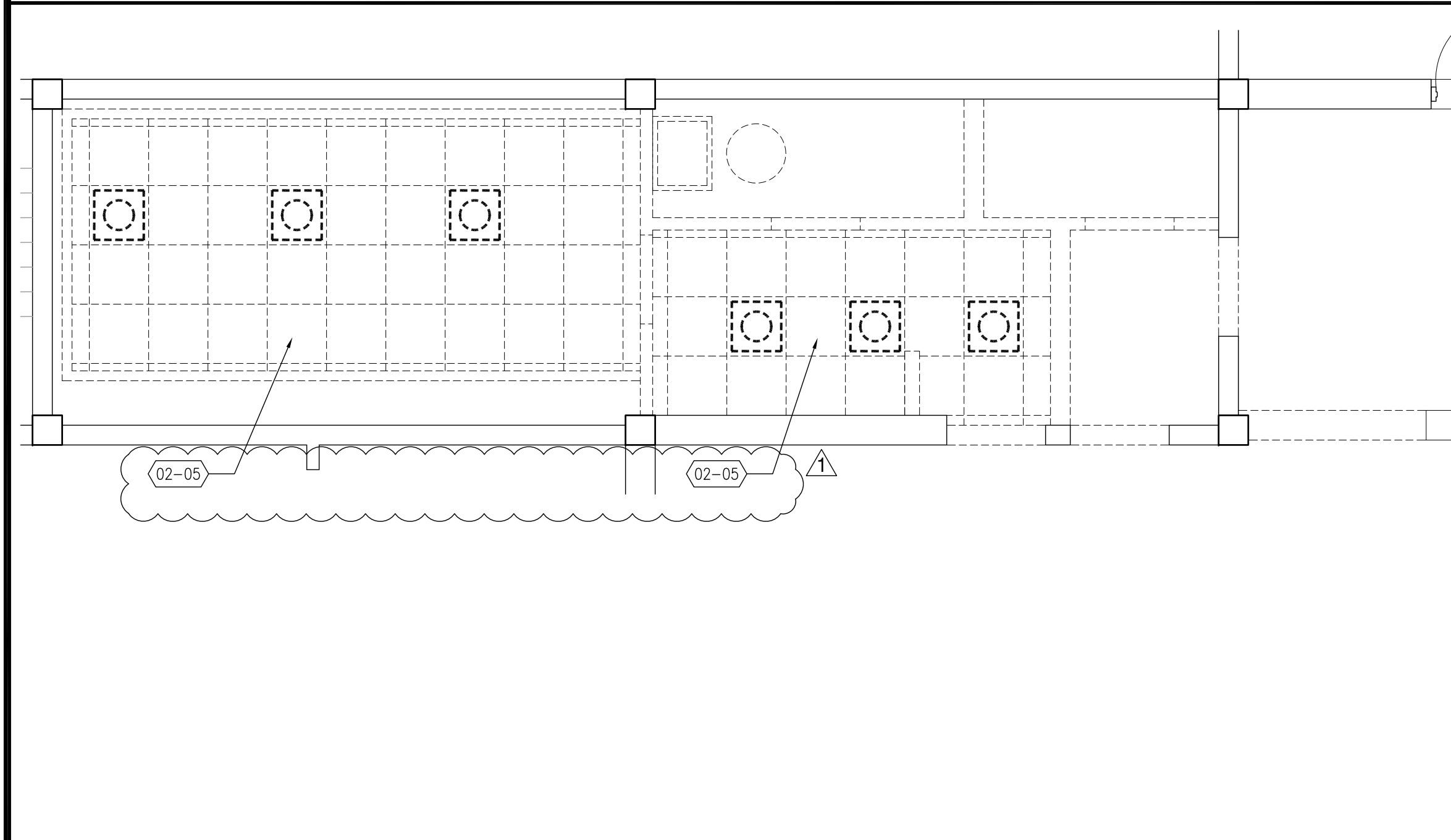
- 2X4 RECESSED FLUOR LIGHT IN 2X2 ACOUSTICAL CLG TILE GRID SYSTEM
- 2X4 RECESSED FLUOR LIGHT IN 2X4 ACOUSTICAL CLG TILE GRID SYSTEM

#### DEMOLITION LEGEND FOR RCP - 1/4" SCALE PLANS

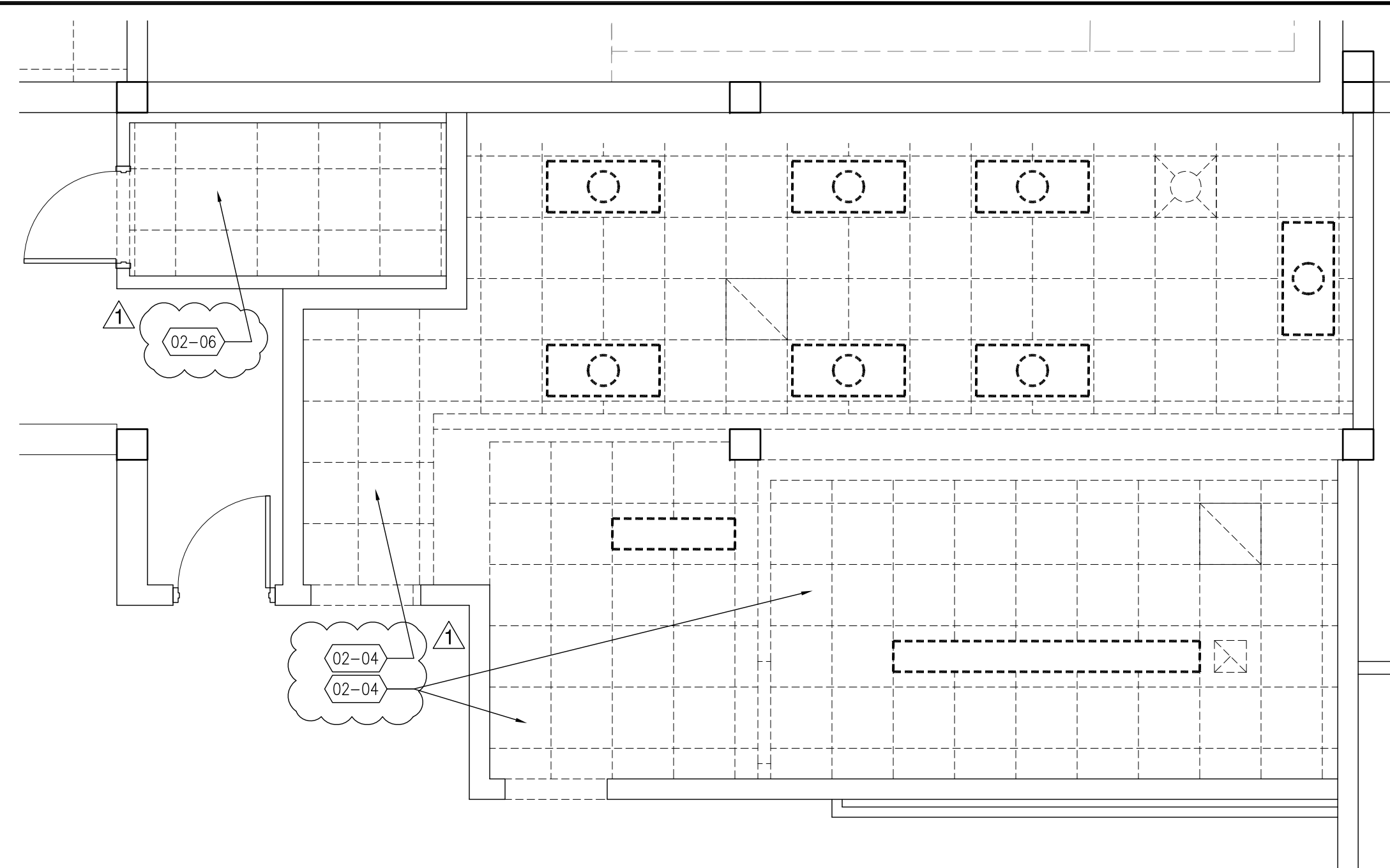
- 2X2 RECESSED FLUOR LIGHT IN 2X2 ACOUSTICAL CLG TILE GRID SYSTEM
- 2X4 RECESSED FLUOR LIGHT IN 2X2 ACOUSTICAL CLG TILE GRID SYSTEM
- SURFACE MOUNTED FLUOR LIGHT FIXTURE
- HVAC SUPPLY DIFFUSER
- HVAC RETURN REGISTER
- EXHAUST FAN



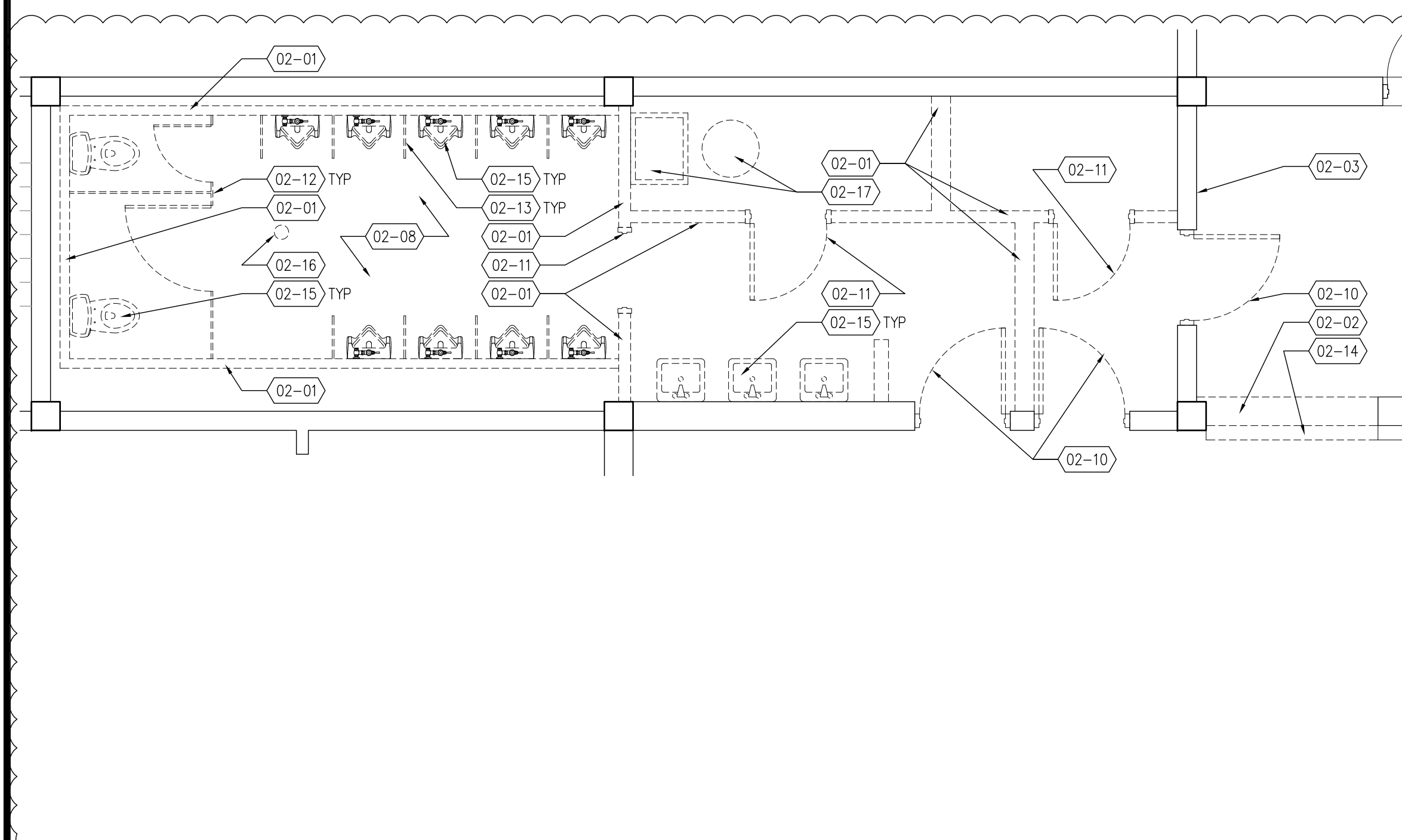
**D1** Demo Reflected Ceiling Plan  
SCALE: 1/8" = 1'-0"



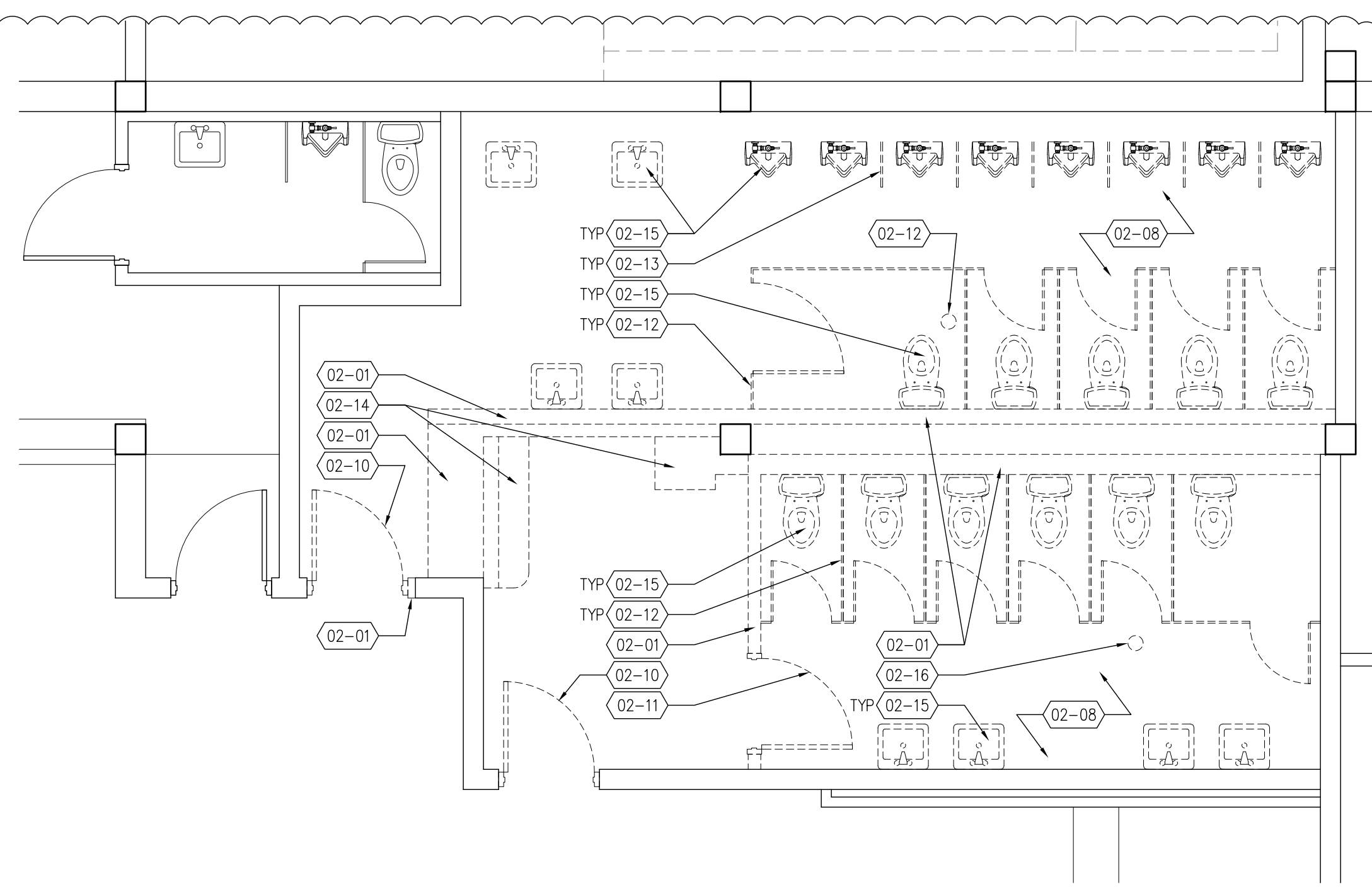
**C1** Demo Reflected Ceiling Plan  
SCALE: 1/4" = 1'-0"



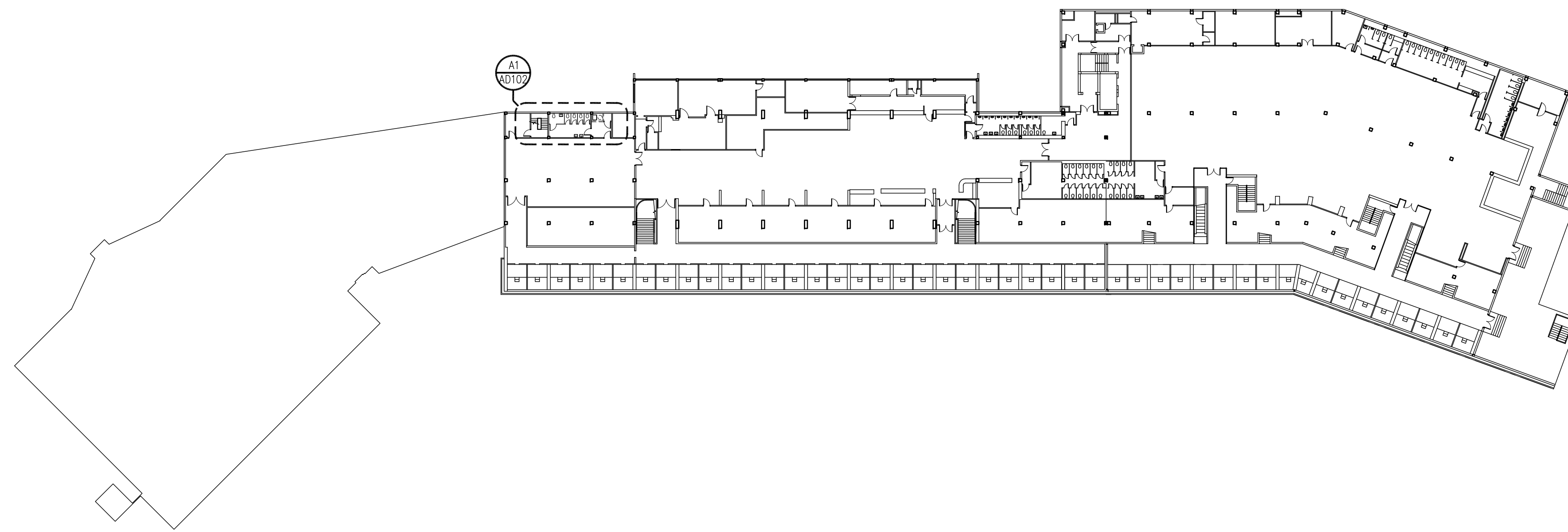
**C3** Demo Reflected Ceiling Plan  
SCALE: 1/4" = 1'-0"



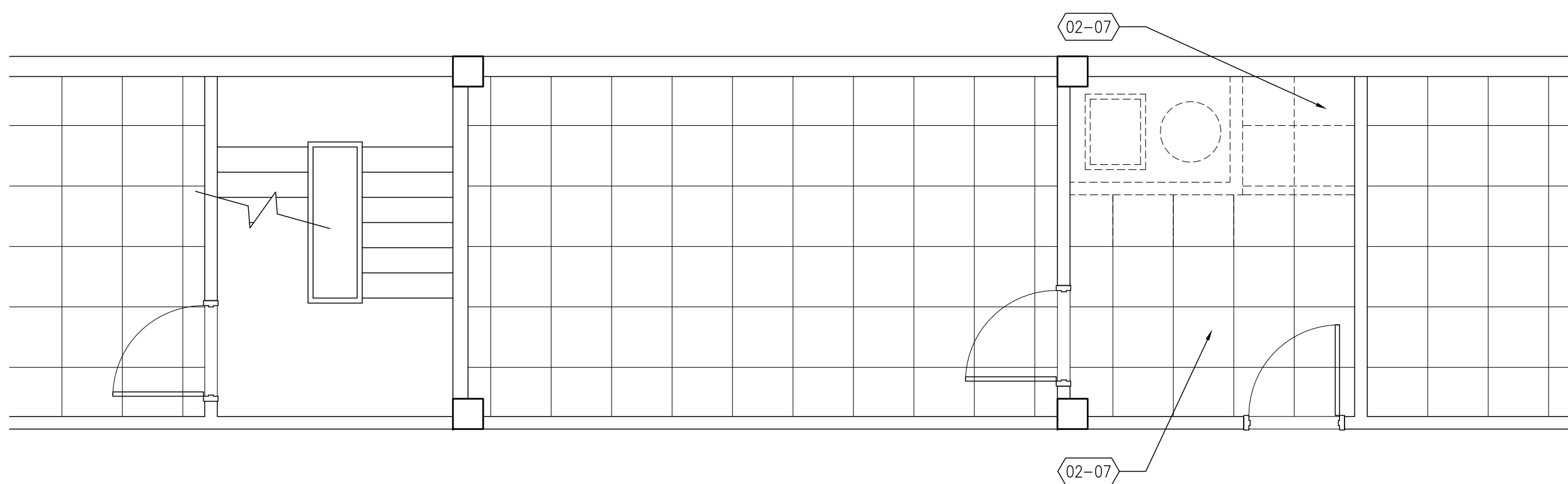
**A1** Enlarged Demo Floor Plan - Men's Restroom  
SCALE: 1/4" = 1'-0"



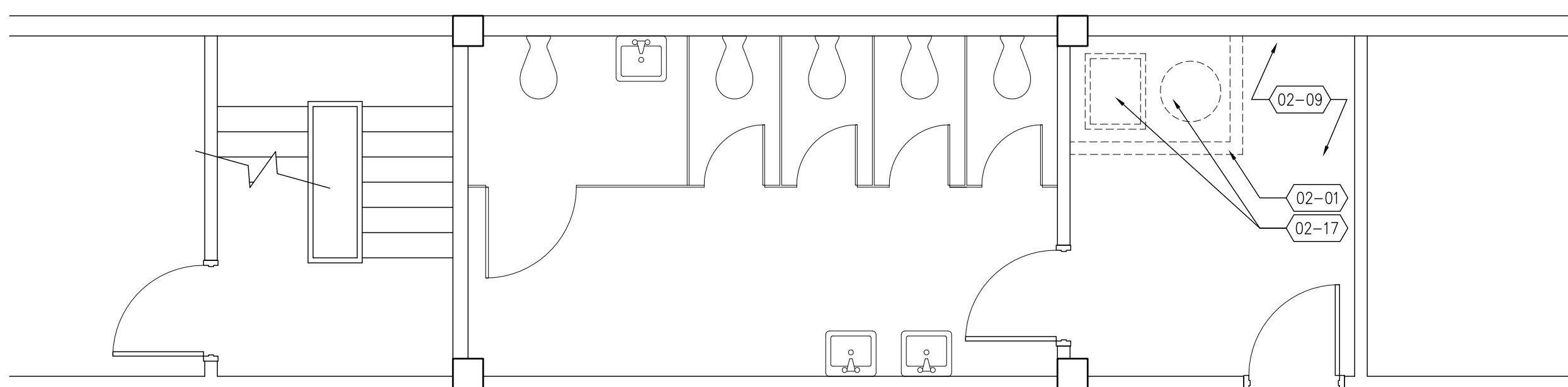
**A3** Enlarged Demo Floor Plan - Men and Women's Restrooms  
SCALE: 1/4" = 1'-0"



**C1** Key Plan - Upper Level  
SCALE: 1" = 40'-0"



**B1** Demo Reflected Ceiling Plan  
SCALE: 1/4" = 1'-0"



**A1** Enlarged Demo Floor Plan - Men's Restroom  
SCALE: 1/4" = 1'-0"

**DEMOLITION KEYED NOTES**

INTERIOR-EXTERIOR WALLS

- 02-01 DEMO EXISTING INTERIOR WALLS. PATCH AND PREP REMAINING TO RECEIVE NEW FINISH PER CONSTRUCTION DRAWINGS. PRIOR TO DEMOLITION, CONFIRM THAT WALL IS NOT STRUCTURAL OR THAT SPECIAL SHORING IS NOT REQUIRED BEFORE DEMOLITION BEGINS. LOCATE STRUCTURE TO REMAIN THAT IS WITHIN NON-STRUCTURAL SECONDARY CONSTRUCTION BEFORE DEMOLITION SO THAT IT MAY BE PROTECTED
- 02-02 DEMO EXISTING MILLWORK AND PARTIAL HEIGHT CONCRETE KNEE WALL TO RECEIVE NEW WALL/DOOR PER CONSTRUCTION DRAWINGS. PATCH AND PREP REMAINING TO RECEIVE NEW FINISH PER CONSTRUCTION DRAWINGS. PRIOR TO DEMOLITION, LOCATE STRUCTURE TO REMAIN THAT IS WITHIN NON-STRUCTURAL SECONDARY CONSTRUCTION BEFORE DEMOLITION SO THAT IT MAY BE PROTECTED
- 02-03 REMOVE STUCCO TO FACE OF BLOCK

CEILING

- 02-04 DEMO EXISTING CEILING TILES AND LIGHTS. REMOVE EXISTING SUPPLY DIFFUSERS, RETURN REGISTERS AND EXHAUST FANS, AND RELOCATE PER CONSTRUCTION DRAWINGS
- 02-05 REMOVE EXISTING CEILING TILES WITH CAUTION AND PROTECT FOR RE-INSTALLATION; RETURN ANY UNUSED TILES TO OWNER. REMOVE EXISTING LIGHTS AND RETURN TO OWNER
- 02-06 DEMO EXISTING CEILING TILES; REMOVE LIGHTS AND CEILING FIXTURES WITH CAUTION AND PROTECT FOR REINSTALLATION
- 02-07 REMOVE A PORTION OF THE EXISTING CEILING TILES AS REQUIRED DURING DEMOLITION, AND PROTECT THE REMAINING TILES FOR REINSTALLATION.

FLOORING

- 02-08 DEMO EXISTING FLOOR TILE; REMOVE MUD BED AND PREP SLAB FOR NEW FLOORING PER CONSTRUCTION DRAWINGS
- 02-09 DEMO EXISTING FLOOR TILE IN LOCATION TO RECEIVE NEW CLOSET PER THE CONSTRUCTION DRAWINGS. REMOVE MUD BED DOWN TO THE ORIGINAL CONC SLAB; PATCH AND REPAIR AS REQUIRED

DOORS

- 02-10 DEMO EXISTING INTERIOR DOOR; PATCH AND PREP FOR NEW DOOR/WALL PER CONSTRUCTION DRAWINGS
- 02-11 DEMO EXISTING INTERIOR DOORS

SPECIALTIES

- 02-12 DEMO EXISTING TOILET PARTITIONS
- 02-13 DEMO EXISTING URINAL PARTITIONS

MILLWORK

- 02-14 DEMO EXISTING MILLWORK. PATCH AND REPAIR MILLWORK TO REMAIN WHERE REQUIRED

PLUMBING

- 02-15 DEMO EXISTING PLUMBING FIXTURES. CAP SANITARY LINES AND PREP FOR NEW LOCATION PER CONSTRUCTION DRAWINGS
- 02-16 CAP EXISTING FLOOR DRAIN TO BE RELOCATED PER CONSTRUCTION DRAWINGS

MECHANICAL

- 02-17 DEMO EXISTING STACK AND BRICK CHASE IN THEIR ENTIRETY, WHICH EXTEND THROUGH MULTIPLE LEVELS AND ROOF OF THE FACILITY. PATCH AND REPAIR FLOOR SLABS AND ROOF AS REQUIRED. CONTRACTOR TO FIELD VERIFY EXTENT OF WORK AND EXISTING CONDITIONS

**Construction Documents**

Firm Registration AA-26000510  
Steven J. Vinci, AIA AR-0017036

Signature \_\_\_\_\_ Date \_\_\_\_\_

**ST. PETERSBURG  
KENNEL CLUB**

Renovation

Project Location:  
10490 Gandy Blvd  
St. Petersburg, Florida 33702

**REVISIONS**

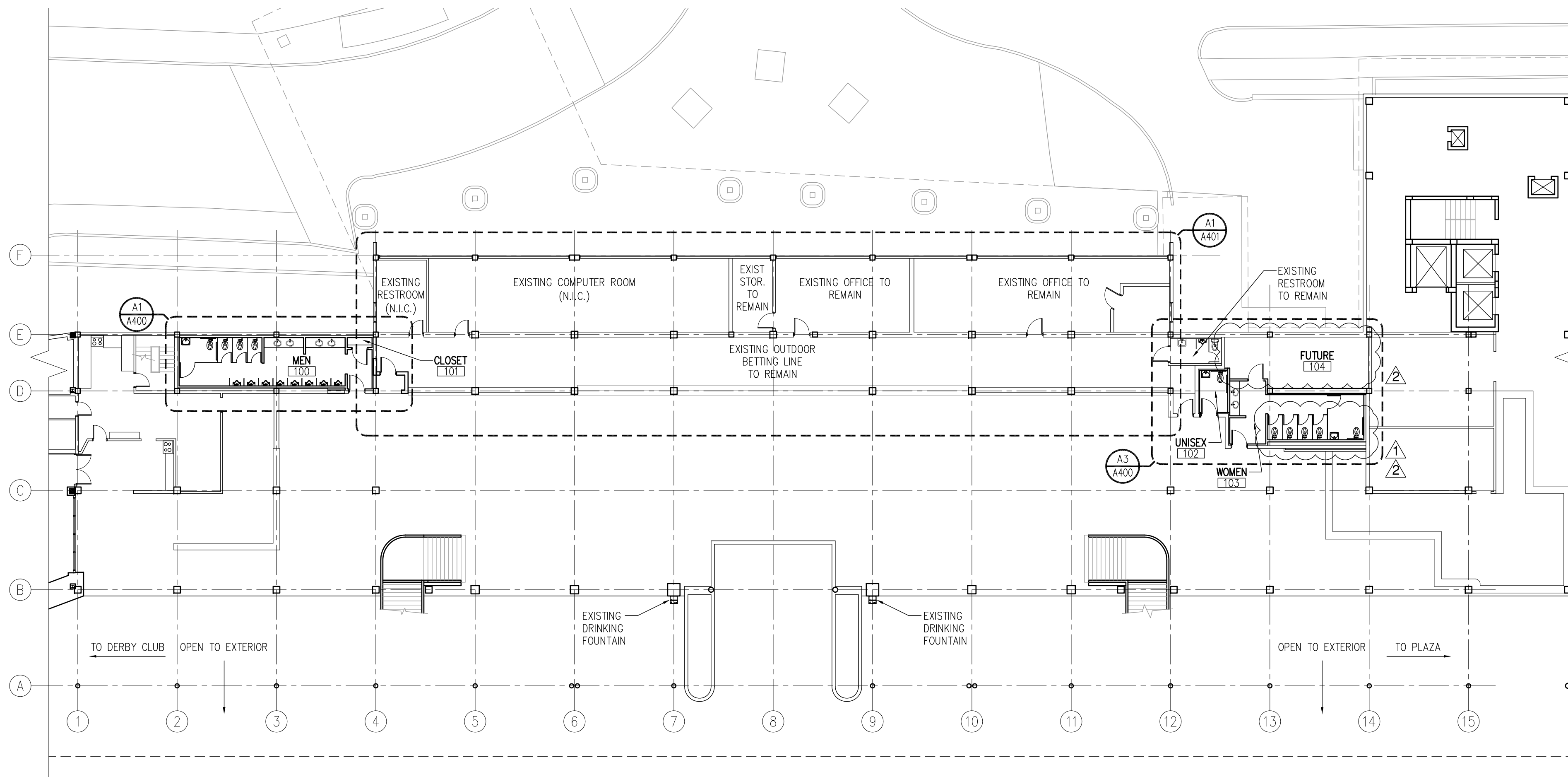
No.	Date	Revision
1	08-13-10	Addendum Number #1

Drawn By: JA  
Checked By: JF

Demolition Plans -  
Upper Level

**AD102**

Project: 10001-2  
Date: August 04, 2010



**C1** Floor Plan  
SCALE: 1/16" = 1'-0"

**GENERAL NOTES**

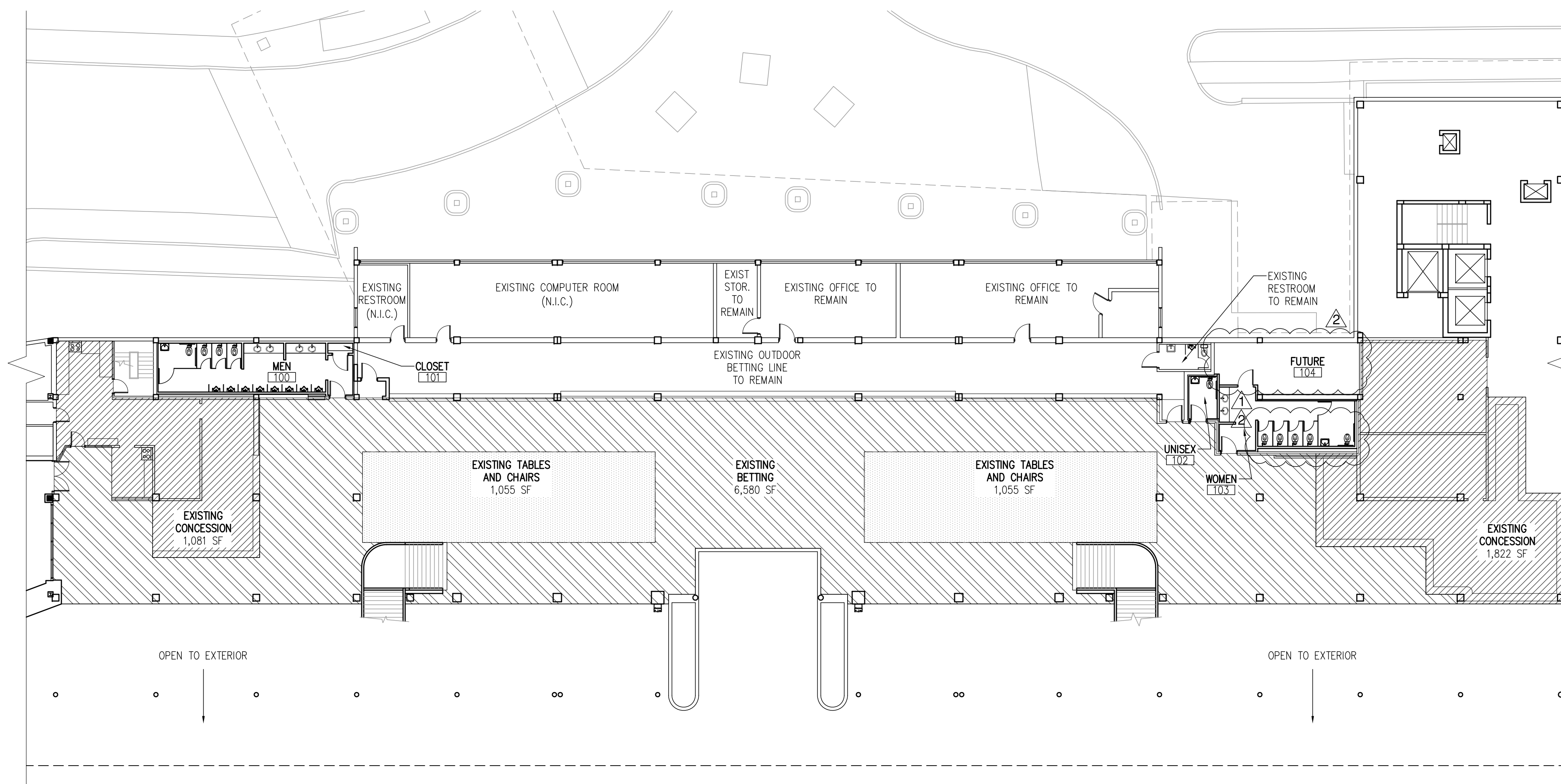
1. ALL DIMENSIONS ARE SHOWN TO FACE OF FINISH UNLESS OTHERWISE NOTED.
2. ALL GYP BD SHALL BE 5/8" M.R. GYP BD.
3. GENERAL CONTRACTOR SHALL PROVIDE BLOCKING AS REQ'D FOR SUPPORT AT THE FOLLOWING AREAS: 1. MILLWORK 2. HAND SINK 3. ACCESSORIES
4. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. DISCREPANCIES BETWEEN INFORMATION INDICATED ON THE DRAWING AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND SHALL BE RESOLVED AT HIS DIRECTION PRIOR TO WORK BEING PERFORMED. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AREAS THAT ARE NOT IN CONSTRUCTION DWG'S.
5. CONTRACTOR TO REPAIR ANY AND ALL DAMAGED SURFACES SO TO MATCH AND BLEND INTO EXISTING SURFACES AND INSURE CLEAN TIGHT JOINTS ALL AROUND.

6671 13th Avenue North, Suite 1C  
St. Petersburg, FL 33710  
(727) 381-5220  
(727) 381-0052 fax

**Construction Documents**

Firm Registration AA-26000510  
Steven J. Vinci, AIA AR-0017036

Signature \_\_\_\_\_ Date \_\_\_\_\_



**A1** Life Safety Plan  
SCALE: 1/16" = 1'-0"

**LIFE SAFETY GENERAL NOTES**

CLASSIFICATION BY OCCUPANCY:	ASSEMBLY (GROUP A-2)	
TYPE OF CONSTRUCTION:	TYPE I - UNPROTECTED (B) UNSPRINKLERED	
OCCUPANT LOAD CALCULATIONS PER FBC CHAPTER 10	PROVIDED	
ASSEMBLY WITHOUT FIXED SEATS (UNCONCENTRATED)	2,110 SF/15 NET	141 OCCUPANTS
ASSEMBLY WITHOUT FIXED SEATS (STANDING SPACE)	6,580 SF/5 NET	1,316 OCCUPANTS
KITCHENS, COMMERCIAL	2,903 SF/200 GROSS	15 OCCUPANTS
TOTAL:		1,472 OCCUPANTS

**LIFE SAFETY LEGEND**

	ROOM NAME, NUMBER AND FLOOR AREA
	EXISTING CONCESSION
	EXISTING BETTING
	EXISTING TABLES AND CHAIRS

ROOM NAME	ROOM NUMBER	FLOOR AREA (SF)	OCCUPANT LOAD
MEN	100	NOT INCLUDED	NOT INCLUDED
CLOSET	101	NOT INCLUDED	NOT INCLUDED
UNISEX	102	NOT INCLUDED	NOT INCLUDED
WOMEN	103	NOT INCLUDED	NOT INCLUDED
FUTURE	104	NOT INCLUDED	NOT INCLUDED
EXISTING SEATING	EXISTING	2110	141
EXISTING BETTING	EXISTING	6580	1316
EXISTING CONCESSION	EXISTING	2903	15
TOTAL AREA		11593	1472

**ST. PETERSBURG  
KENNEL CLUB**  
Renovation

Project Location:  
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St. Petersburg, Florida 33702

**REVISIONS**

No.	Date	Revision
▲	08-13-10	Addendum Number #1
▲	09-20-10	Fixture Count Reduction

Drawn By: JA  
Checked By: JF

**Life Safety & Floor Plans  
- Lower Level**

**A100**

Project: 10001-2  
Date: August 04, 2010

## Construction Documents

Firm Registration AA-26000510  
 Steven J. Vinci, AIA AR-0017036

Signature \_\_\_\_\_ Date \_\_\_\_\_

## ST. PETERSBURG KENNEL CLUB

Renovation

Project Location:  
 10490 Gandy Blvd  
 St. Petersburg, Florida 33702

### REVISIONS

No.	Date	Revision
1	08-13-10	Addendum Number #1

Drawn By: JA  
 Checked By: JF

## Floor Plans - Upper Level

# A101

Project: 10001-2  
 Date: August 04, 2010

### REFLECTED CEILING PLAN LEGEND

- ELEVATION OF CLG (ABOVE FINISH FLOOR)  
CLGS AT 8'-0" A.F.F. UNLESS NOTED OTHERWISE
- ACOUSTICAL CLG TILE; SEE SPECS
- EXPOSED STRUCTURE
- GYP BD CLG
- RECESSED DOWNLIGHT
- RECESSED DOWNLIGHT ON EMERGENCY POWER OR BATTERY PACK
- VANITY LIGHT FIXTURE
- HVAC SUPPLY DIFFUSER
- HVAC RETURN REGISTER
- EXHAUST FAN
- EXIT SIGN

### WALL PARTITION NOTES

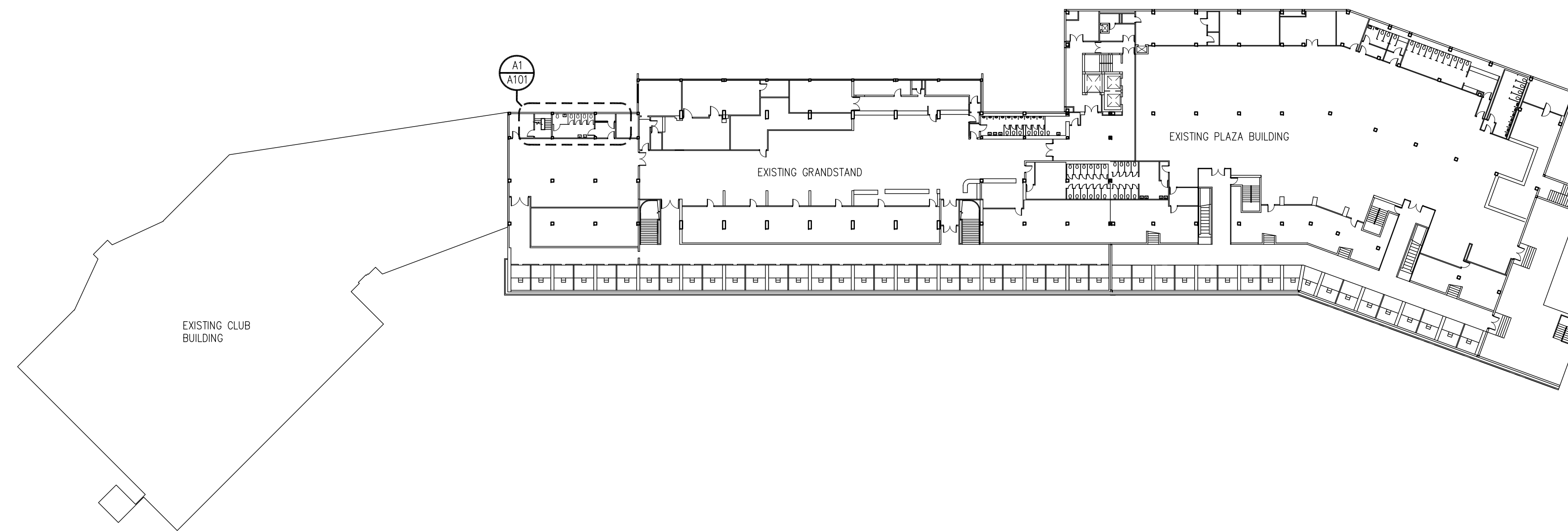
- PARTITIONS THAT ARE REQUIRED TO EXTEND TO DECK SHALL HAVE THE GYPSUM OR BLOCK CUT TO FIT WITHIN 1/4" TOLERANCE TO THE SHAPE OF THE DECK/JOISTS AND SHALL BE SEALED IN ACCORDANCE WITH THE SPECIFIED UL NUMBER.
- ALL INTERIOR PARTITIONS WHICH TERMINATE BELOW THE DECK SHALL BE DRAFTSTOPPED AT THE TOP OF THE PARTITION AND SEALED WITH CAULK THAT MEETS ASTM E136. ANY PENETRATIONS OF CONDUIT, ETC. PASSING THROUGH DRAFTSTOP AND THE BASE OF THE PARTITION SHALL ALSO BE CAULKED AS SPECIFIED ABOVE.
- WALL PRIORITIES: (1) RATED, (2) STC AND (3) ALL OTHERS.
- PARTITIONS ARE TYPE N1, UNLESS NOTED OTHERWISE.
- WHERE CERAMIC WALL TILE IS INDICATED (SEE FINISH SCHEDULE ON A600), PROVIDE CEMENT BACKER BOARD TO TILE HEIGHT ONLY.

### WALL TYPES

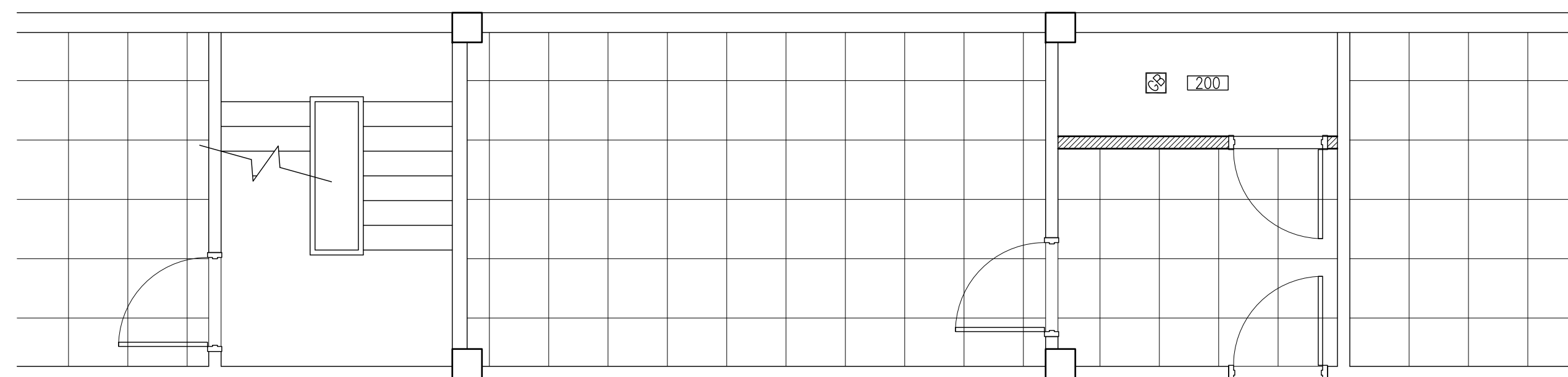
- F1 GYP WALL BD FURRED PARTITION**  
5/8" MOISTURE RESISTANT GYP BD ONE SIDE (INTERIOR) TO 6" ABOVE CLG ON 1-5/8" 25 GA GALV MTL STUD FRAMING AT 24" O.C. - FINISHED, TAPED AND PAINTED
- F2 GYP WALL BD FURRED PARTITION**  
5/8" MOISTURE RESISTANT GYP BD ONE SIDE (INTERIOR) TO 6" ABOVE CLG ON 3-5/8" 25 GA GALV MTL STUD FRAMING AT 16" O.C. - FINISHED, TAPED AND PAINTED
- N1 NON-FIRE RATED GYP WALL BD PARTITION**  
5/8" MOISTURE RESISTANT GYP BD EACH SIDE TO 6" ABOVE CLG ON 3-5/8" 25 GA GALV MTL STUD FRAMING AT 16" O.C. - FINISHED, TAPED AND PAINTED  
\*REFER TO PLAN FOR SOUND BATT ATTENUATION LOCATIONS\*
- B1 CONC MASONRY UNIT WALL**  
8" CONC MASONRY UNIT WALL, PAINTED (ONE SIDE)
- B2 CONC MASONRY UNIT WALL**  
8" CONC MASONRY UNIT WALL, PAINTED (BOTH SIDES)
- B3 GYP WALL BD FURRED PARTITION**  
5/8" MOISTURE RESISTANT GYP BD (RESTROOM SIDE) TO 6" ABOVE CLG ON 1-5/8" 25 GA GALV MTL STUD FRAMING AT 24" O.C. ON 8" CONC MASONRY UNIT WALL, PAINTED (ONE SIDE)
- C1 GYP WALL BD CHASE WALL**  
5/8" MOISTURE RESISTANT GYP BD ONE SIDE TO 6" ABOVE CLG ON 1-5/8" 25 GA GALV MTL STUD FRAMING AT 24" O.C. - FINISHED, TAPED AND PAINTED
- C2 GYP WALL BD CHASE WALL**  
5/8" MOISTURE RESISTANT GYP BD ONE SIDE (INTERIOR) TO 6" ABOVE CLG ON 3-5/8" 25 GA GALV MTL STUD FRAMING AT 16" O.C. - FINISHED, TAPED AND PAINTED  
\*REFER TO PLAN FOR SOUND BATT ATTENUATION LOCATIONS\*

### WALL LEGEND

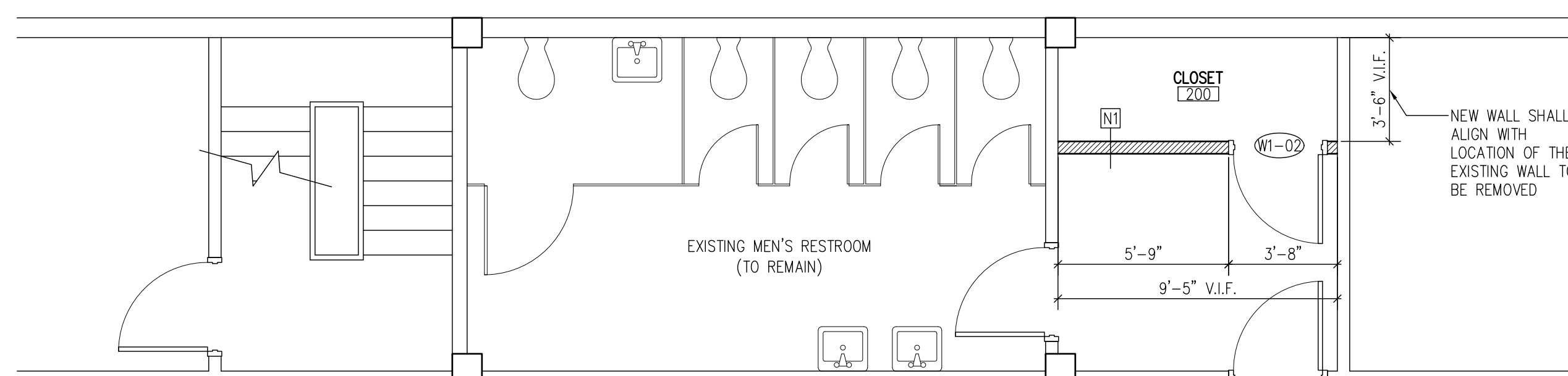
- EXISTING CMU WALL TO REMAIN
- NEW CMU WALL
- NEW MTL STUD WALL
- NEW MTL STUD WALL WITH SOUND ATTENUATION BATTS



**C1** Key Plan - Upper Level  
 SCALE: 1" = 40'-0"



**B1** Reflected Ceiling Plan  
 SCALE: 1/4" = 1'-0"



**A1** Enlarged Floor Plan - Men's Restroom  
 SCALE: 1/4" = 1'-0"



## Construction Documents

Firm Registration AA-26000510  
Steven J. Vinci, AIA AR-0017036

Signature \_\_\_\_\_ Date \_\_\_\_\_

## ST. PETERSBURG KENNEL CLUB

Renovation

Project Location:  
10490 Gandy Blvd  
St. Petersburg, Florida 33702

### REVISIONS

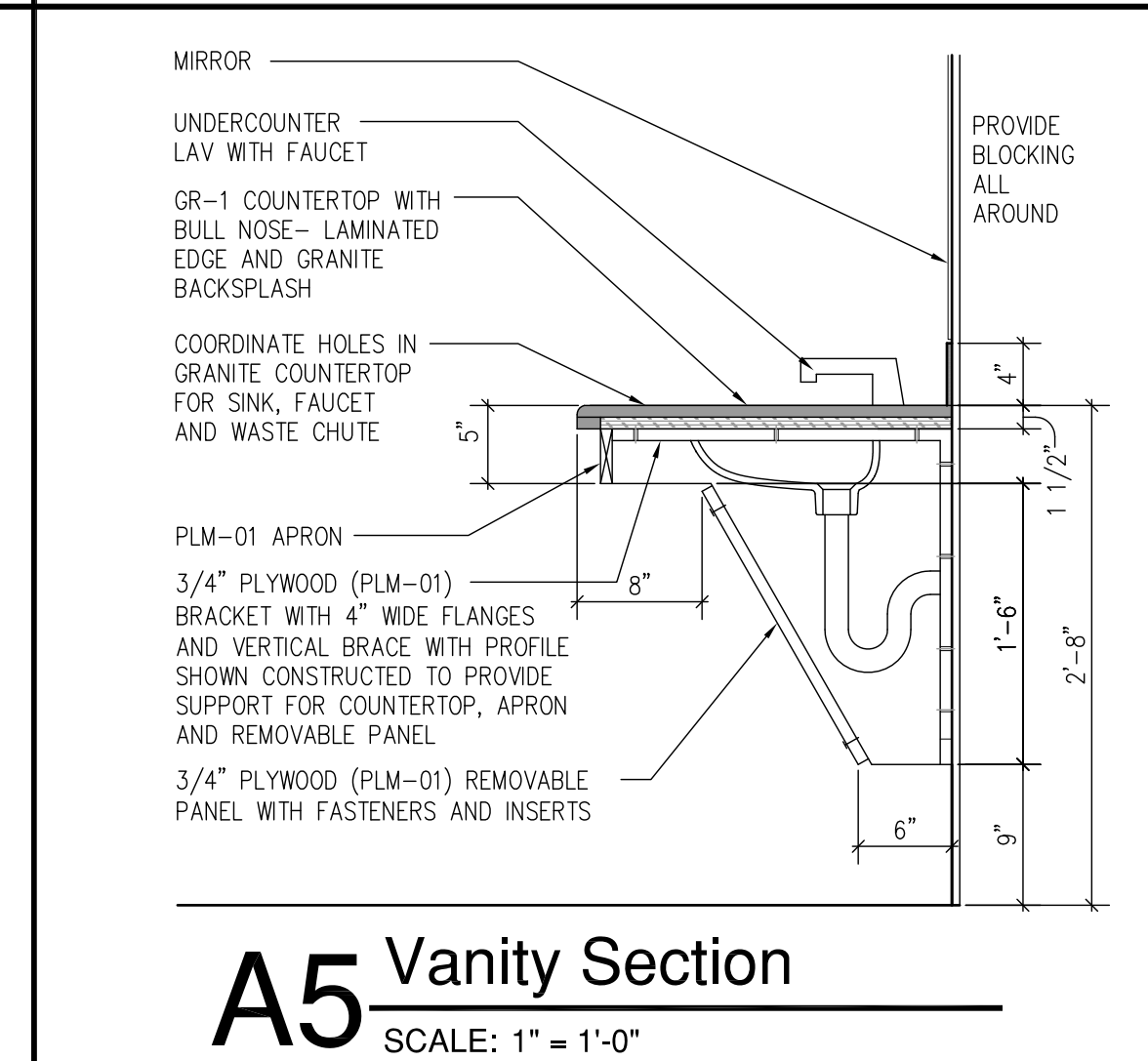
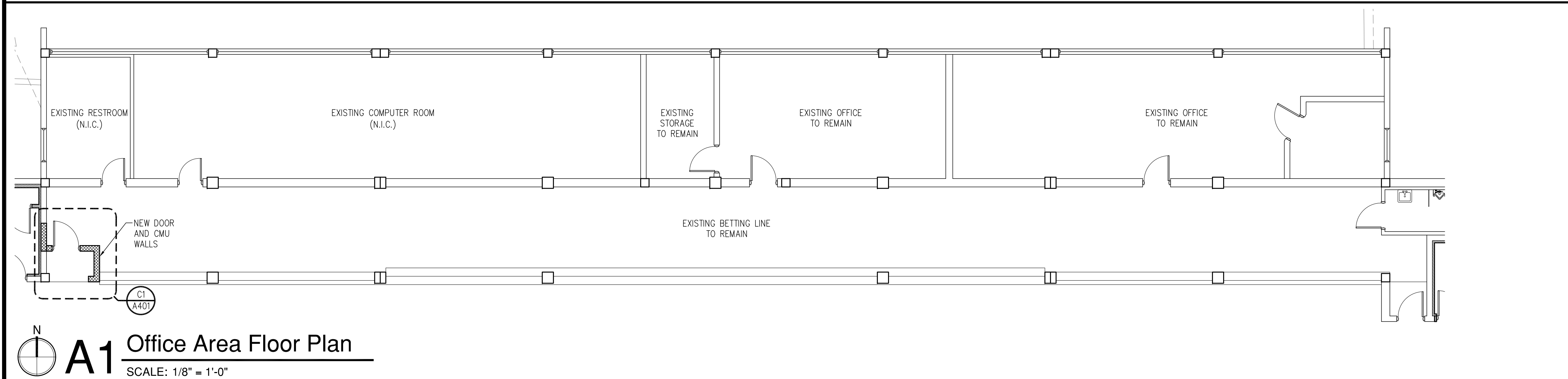
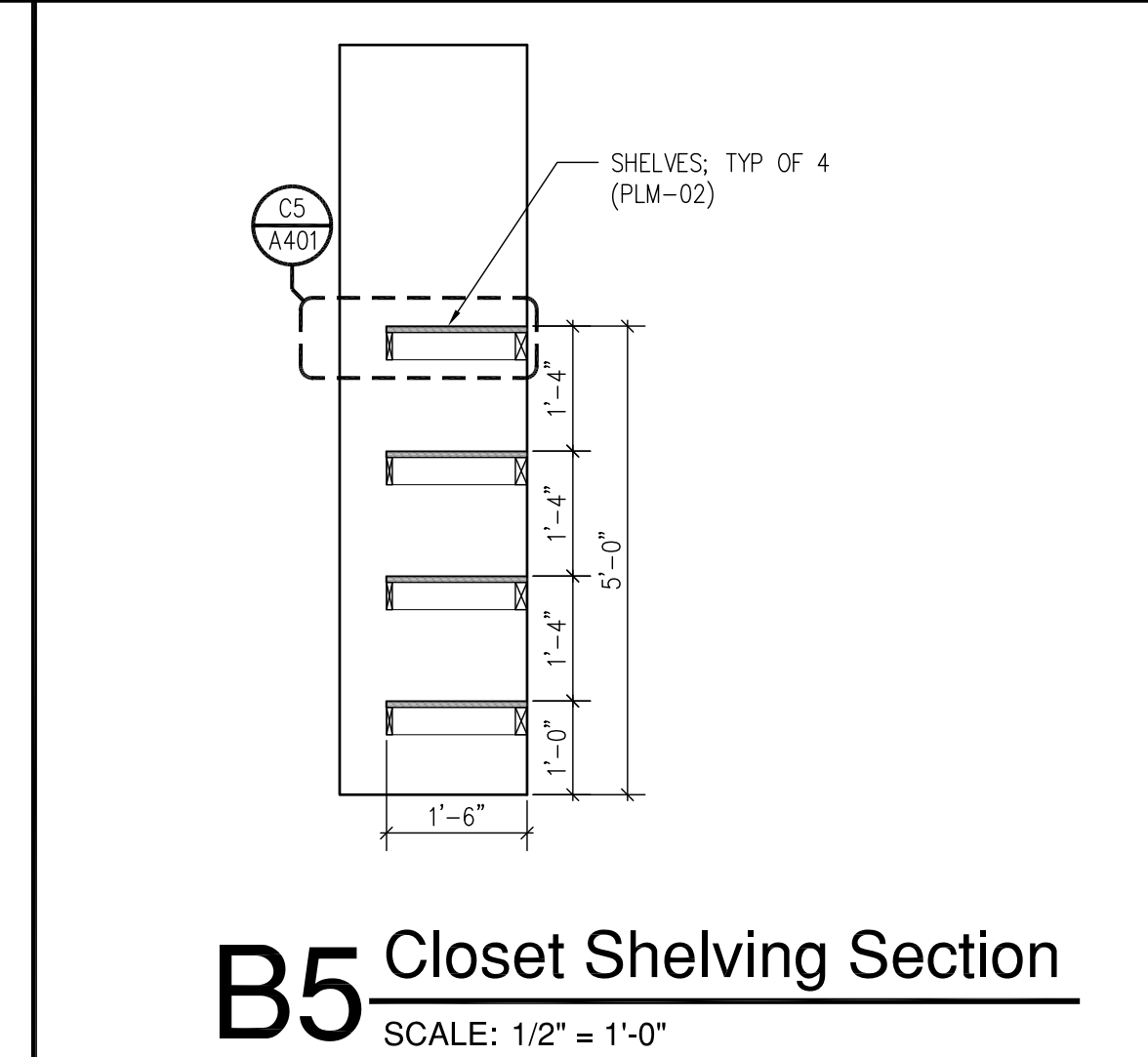
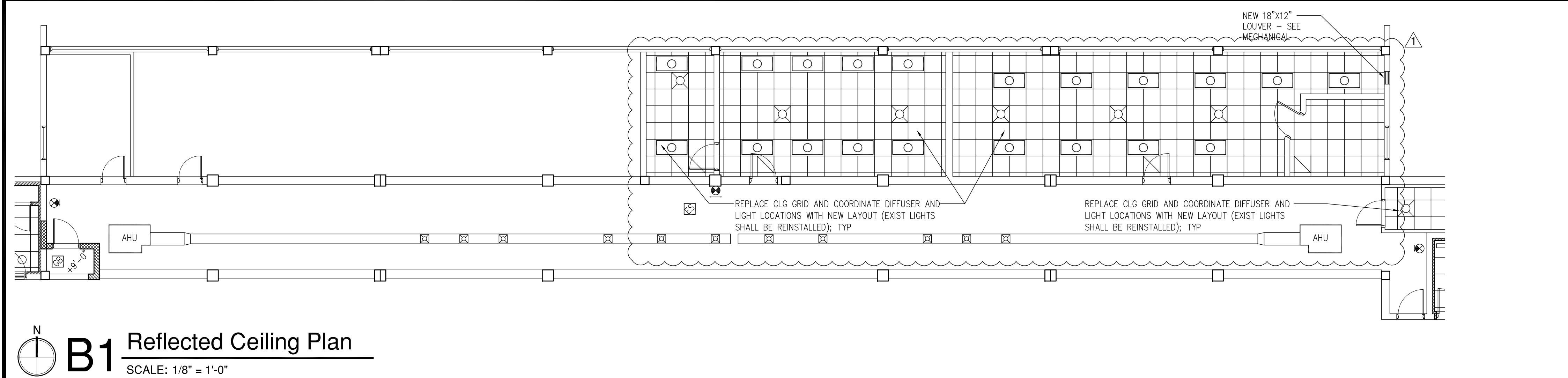
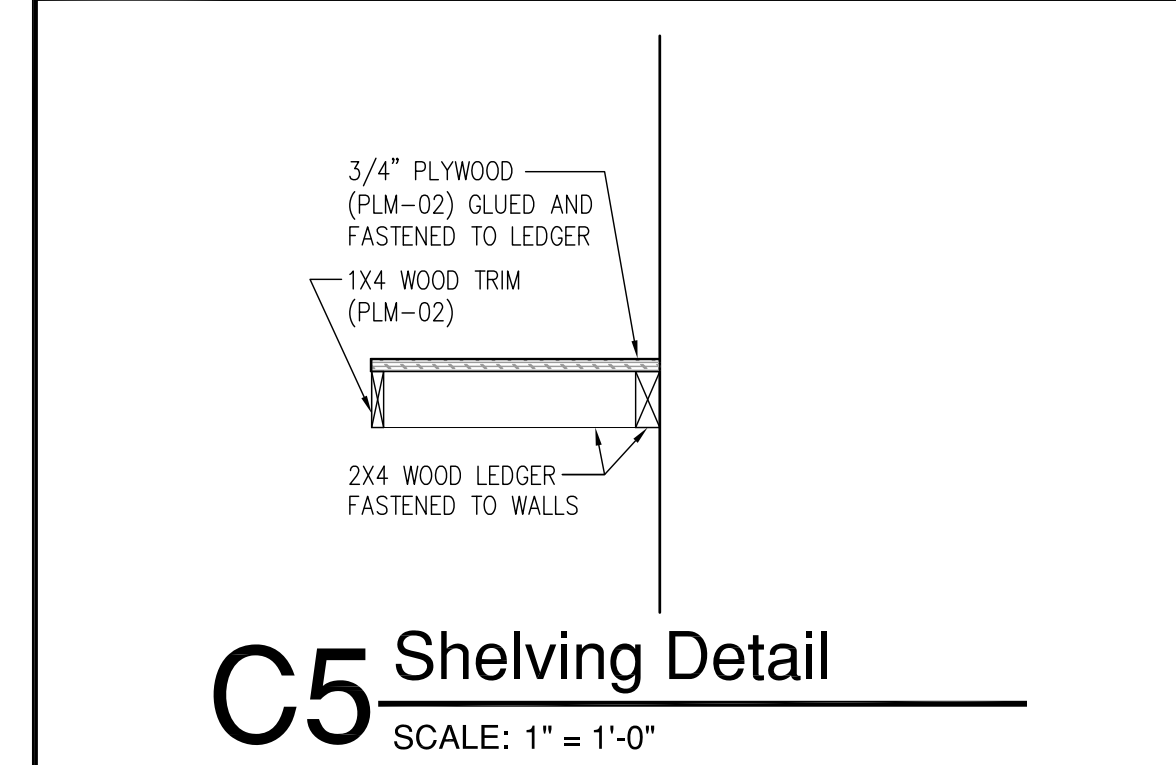
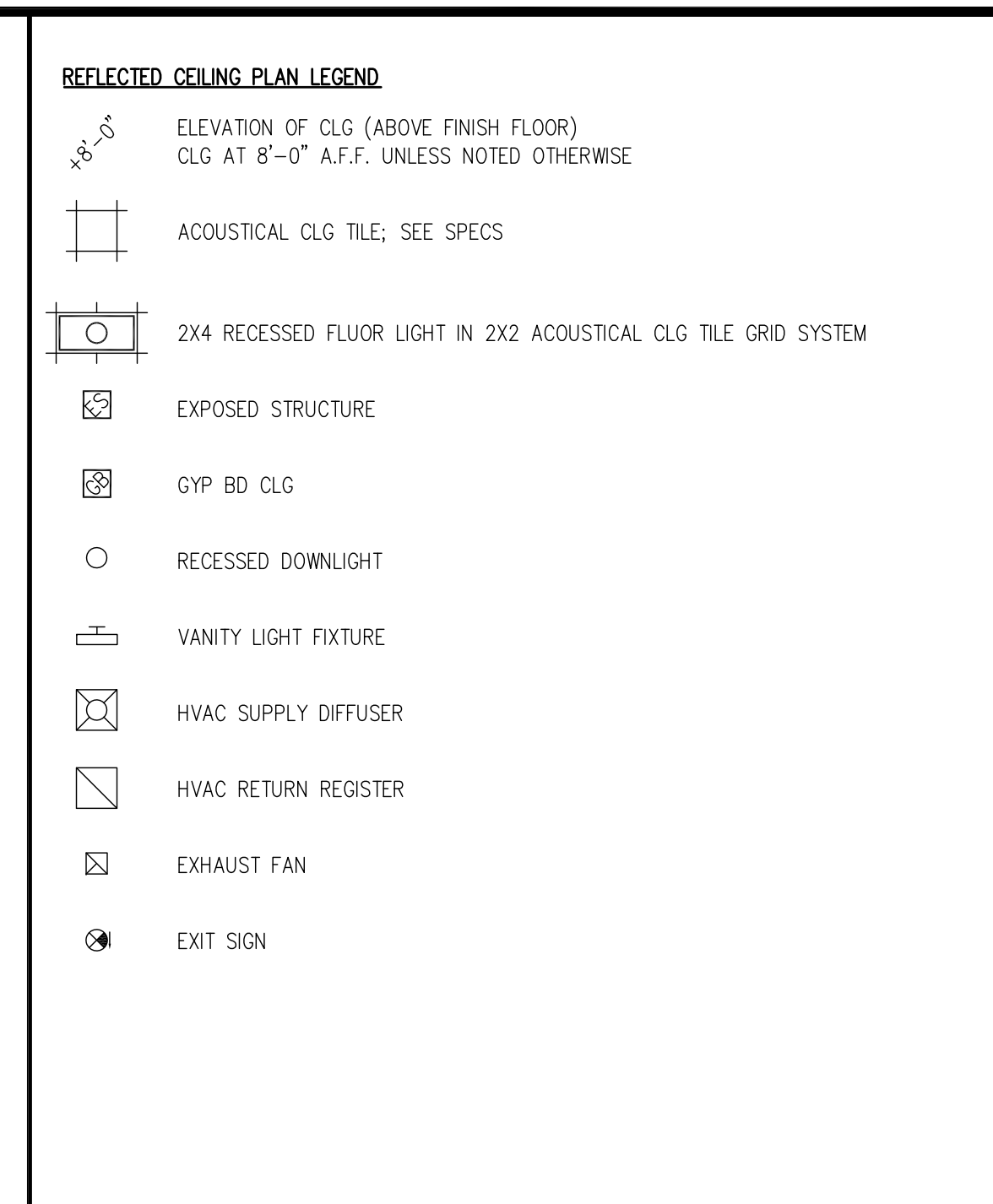
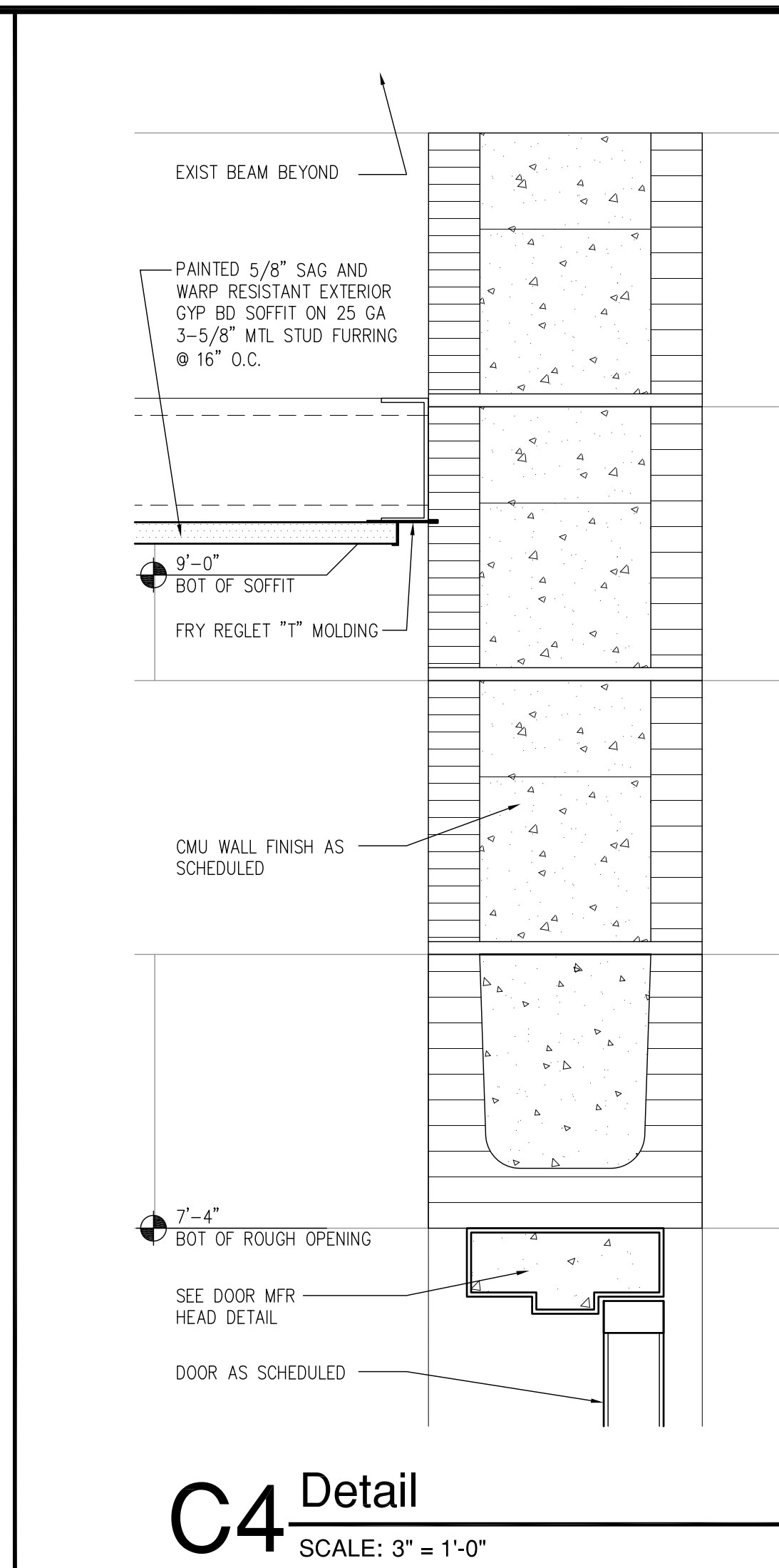
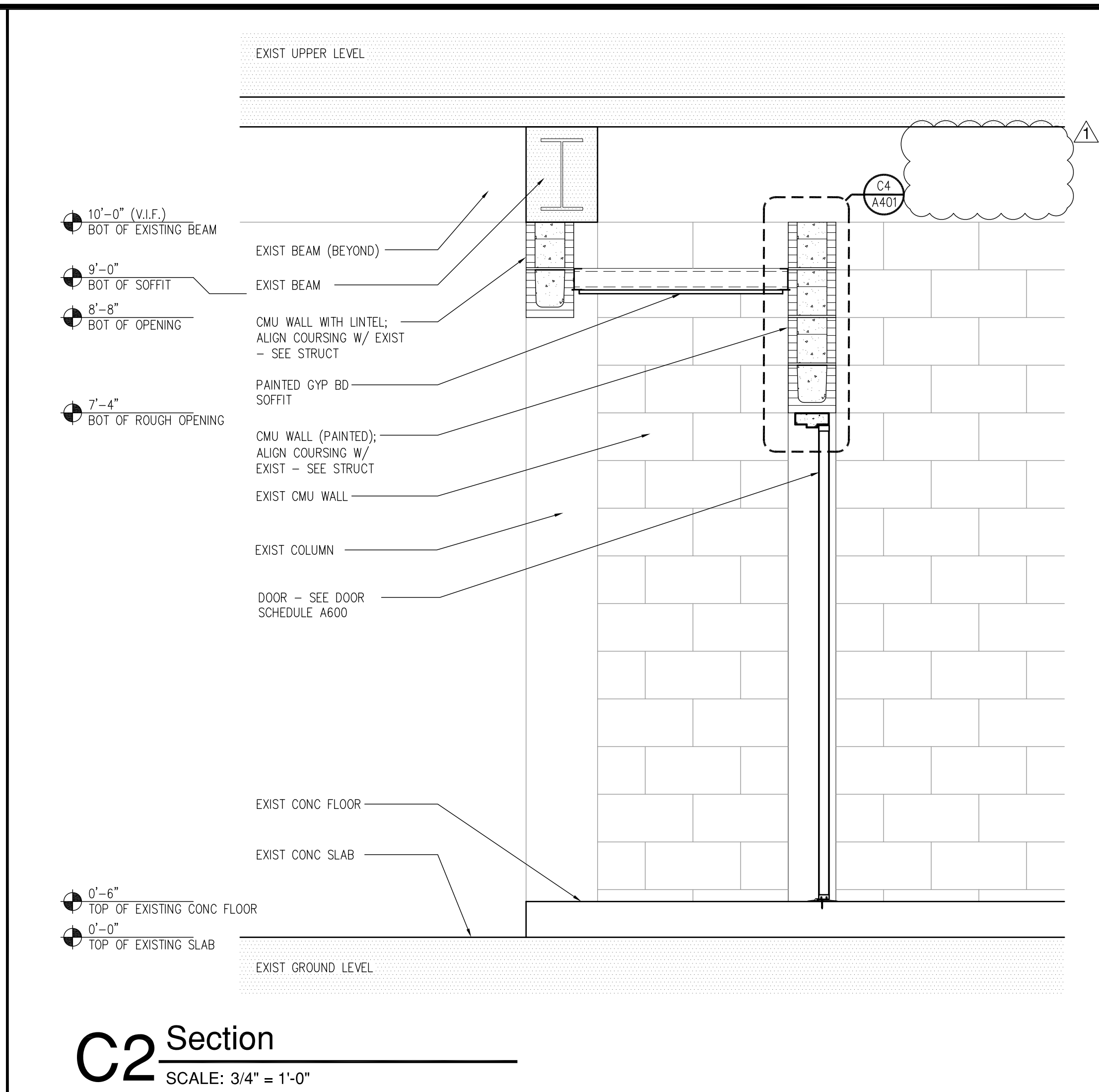
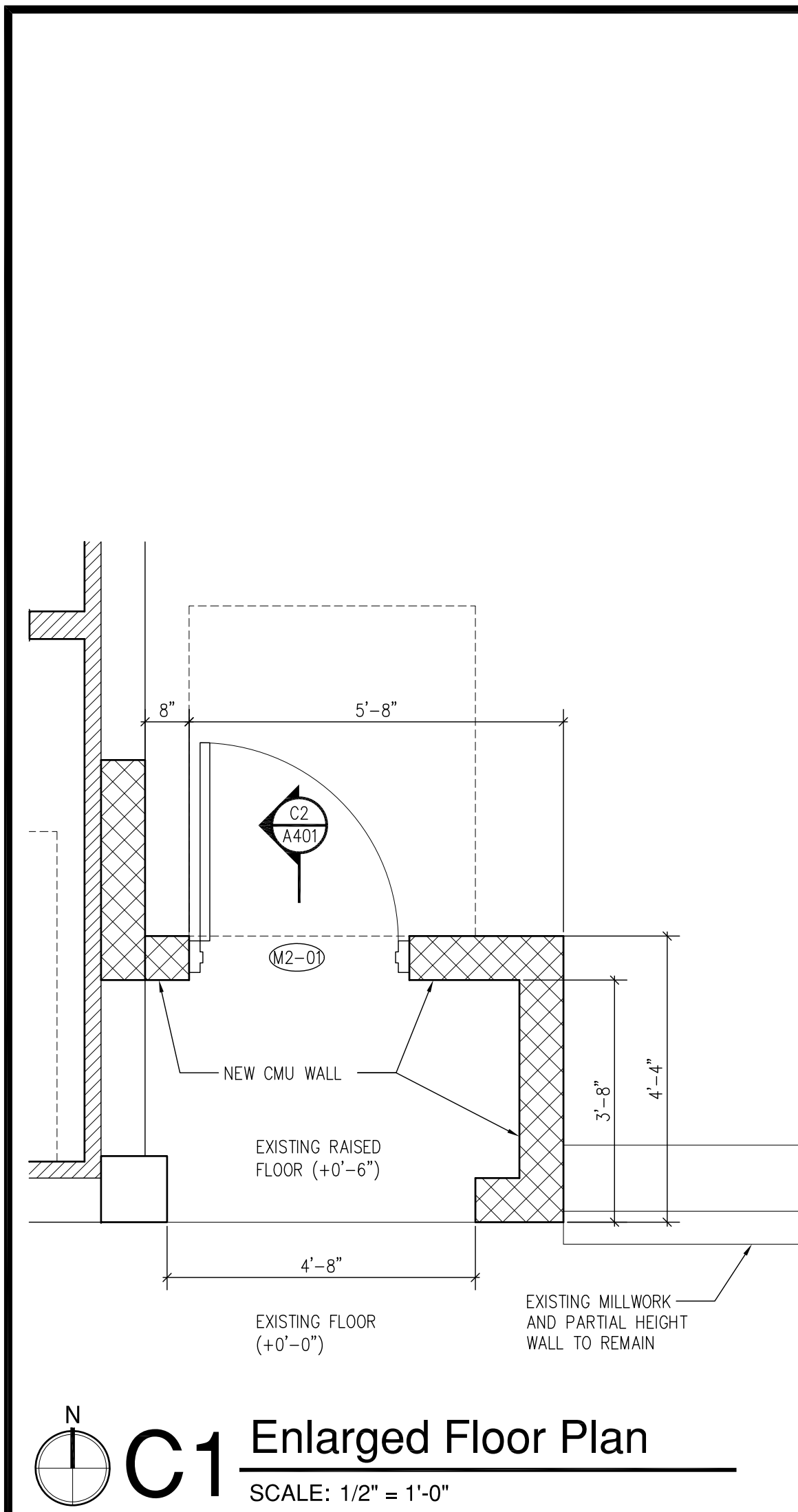
No.	Date	Revision
▲	08-13-10	Addendum Number #1

Drawn By: JA  
Checked By: JF

Large Scale Plans,  
Sections & Details

# A401

Project: 10001-2  
Date: August 04, 2010



## Construction Documents

Firm Registration: AA-26000510  
Steven J. Vinci, AIA: AR-0017036

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

### ST. PETERSBURG KENNEL CLUB

Renovation

Project Location:  
10490 Gandy Blvd  
St. Petersburg, Florida 33702

### REVISIONS

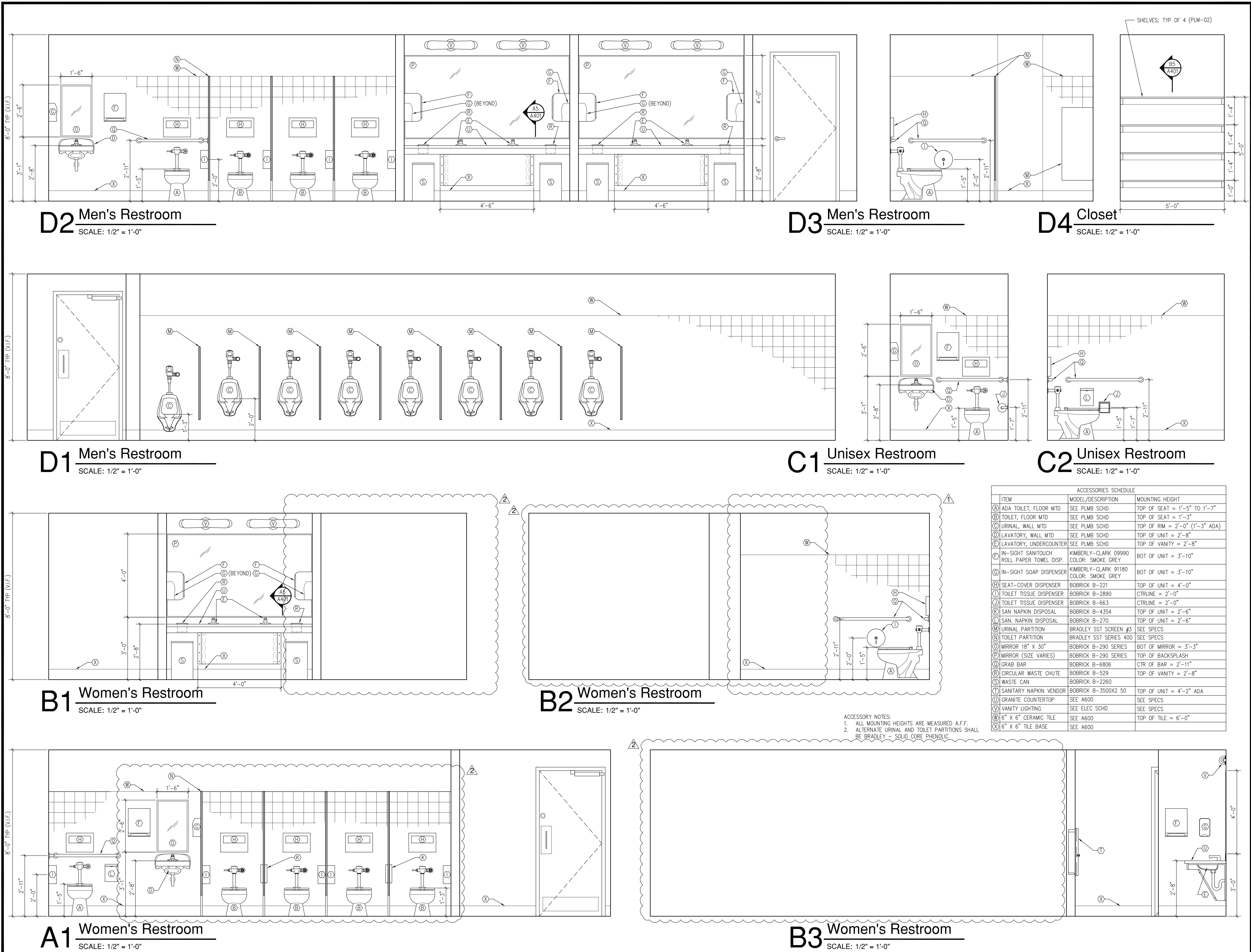
No.	Date	Revision
▲	08-13-10	Addendum Number #1
▲	09-20-10	Fixture Count Reduction

Drawn By: JA  
Checked By: JF

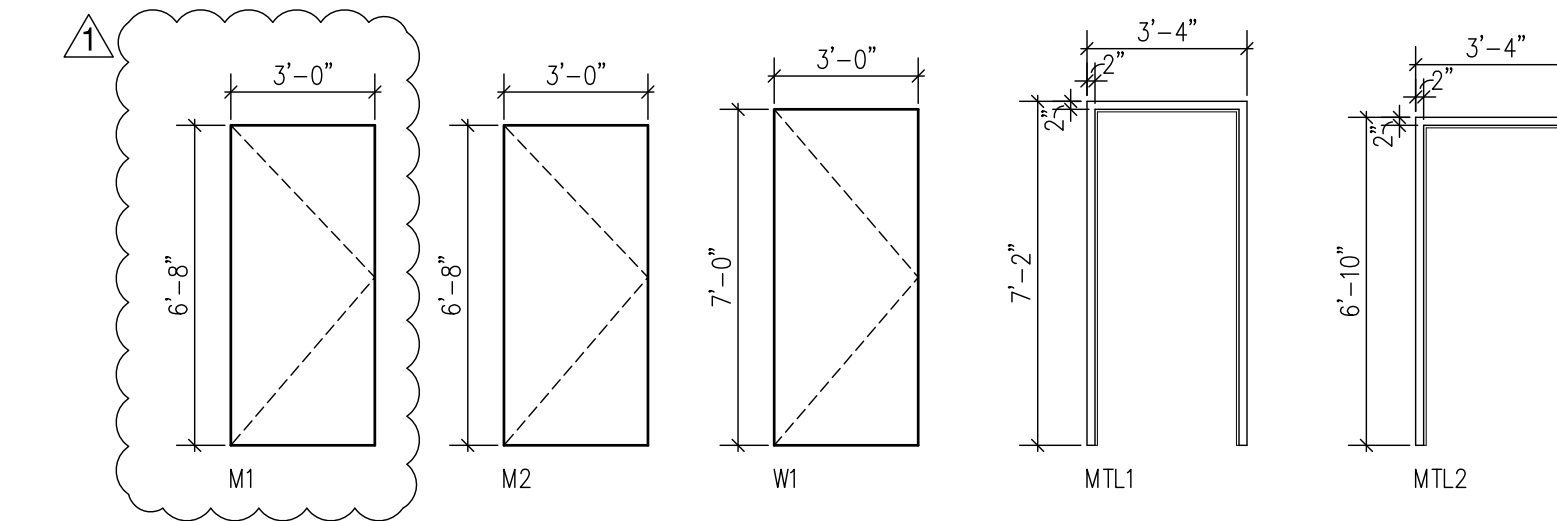
### Interior Elevations

# A402

Project: 10001-2  
Date: August 04, 2010



DOOR SCHEDULE											
DOOR TYPE	DOOR				GLASS	FRAME TYPE	MATERIAL	FRAME			REMARKS
	SIZE			MATERIAL				MATERIAL	DETAILS		
	WIDTH	HEIGHT	THICKNESS						JAMB	HEAD	
M1	3'-0"	6'-8"	1 3/4"	MTL	NO	HOLLOW MTL	MTL2				
M2	3'-0"	6'-8"	1 3/4"	MTL	NO	HOLLOW MTL	MTL2	SEE NOA	SEE NOA	SEE NOA	NOA, IMPACT RESISTANT
W1	3'-0"	7'-0"	1 3/4"	WD	NO	HOLLOW MTL	MTL1				



**DOOR HARDWARE**

**SET 01**

- (1) MORTISE LOCKSET W/DEADBOLT
- (1) STOP
- (3) HINGES
- (3) SILENCERS
- (1) CLOSER
- (1) WEATHERSTRIPPING
- (1) THRESHOLD

**SET 02**

- (1) STOREROOM LOCKSET
- (1) STOP PER DOOR
- (3) HINGES PER DOOR
- (3) SILENCERS PER DOOR

**SET 03**

- (1) PUSH PULL
- (1) DEADBOLT WITH KEY BOTH SIDES
- (1) STOP
- (3) HINGES
- (3) SILENCERS
- (1) CLOSER
- (1) WEATHERSTRIPPING
- (1) THRESHOLD
- (2) SS KICK PLATES

**GENERAL DOOR/FRAME NOTES**

1. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS AND THIS SCHEDULE AND SHALL AT ONCE REPORT IN WRITING TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION THAT S/HE MAY DISCOVER.
2. ALL FRAMES SHALL BE CAULKED CONTINUOUSLY TO THE WALL ON BOTH SIDES.
3. WHEREVER THERE IS A CRACK BETWEEN THE BOTTOM OF THE DOOR FRAME AND THE FINISH FLOOR, THE CONTRACTOR SHALL PROVIDE A 'PENCIL-LINE CAULK' TO SEAL (EXCEPT WHERE CARPET HIDES CRACK).
4. UNLESS INDICATED OTHERWISE, ALL FLOOR MATERIAL CHANGES SHALL OCCUR AT THE CENTERLINE OF A DOOR.

**DOOR LEGEND**

GLA	GLASS
MTL	METAL
SPAN	SPANDREL
TEMP	TEMPERED
VIS	VISION
WD	WOOD

# ARC3

architecture

6671 13th Avenue North, Suite 1C  
 St. Petersburg, FL 33710  
 (727) 381-5220  
 (727) 381-0052 fax

**Construction Documents**

Firm Registration AA-26000510  
 Steven J. Vinci, AIA AR-0017036

Signature \_\_\_\_\_ Date \_\_\_\_\_

FINISH + COLOR SCHEDULE																
NUMBER	SPACE	FLOOR		BASE		WALLS								CEILING		REMARKS
		MATERIAL	COLOR	MATERIAL	COLOR	NORTH		SOUTH		EAST		WEST		MATERIAL	COLOR	
						MATERIAL	COLOR	MATERIAL	COLOR	MATERIAL	COLOR	MATERIAL	COLOR			
100	MEN	CT	01	CTB	01	CT/PNT	02/01	CT/PNT	02/01	PNT	01	CT/PNT	02/01	ACT	01	CT TO 6'-0" AFF
101	CLOSET	CT	01	CTB	01	PNT	01	PNT	01	PNT	01	PNT	01	GYP	01	
102	UNISEX	CT	01	CTB	01	CT/PNT	02/01	PNT	01	CT/PNT	02/01	CT/PNT	02/01	ACT	01	CT TO 6'-0" AFF
103	WOMEN	CT	01	CTB	01	CT/PNT	02/01	CT/PNT	02/01	CT/PNT	02/01	PNT	01	ACT	01	CT TO 6'-0" AFF
200	CLOSET	CONC	-	-	-	PNT	01	PNT	01	PNT	01	PNT	01	GYP	01	

**FINISH + COLOR NOTES**

1. CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS, THE FINISH SCHEDULE AND FINISH PLAN AND REPORT ANY ERRORS, INCONSISTENCY OR OMISSIONS THAT MAY BE DISCOVERED.
2. UNLESS INDICATED OTHERWISE, ALL FLOOR MATERIAL CHANGES SHALL OCCUR AT THE CENTERLINE OF THE DOOR.

**MATERIAL LEGEND**

ACT	ACOUSTICAL CEILING TILE
CB	CARPET BASE
CPT	CARPET
CT	CERAMIC TILE
CTB	CERAMIC TILE BASE
CWT	CERAMIC WALL TILE
CONC	EXISTING CONCRETE
DIP	DECORATIVE PANEL
EXP	EXPOSED
EPX	EPOXY
GR	GRANITE
GRT	GROUT
GYP	PAINTED GYPSUM BOARD
PLM	PLASTIC LAMINATE
PNT	PAINT
ETR	EXISTING TO REMAIN
SV	SHEET VINYL
VB	VINYL BASE
VCT	VINYL COMPOSITION TILE
WD	WOOD

FINISH SPECIFICATIONS						
LEGEND		MATERIAL SPECIFICATION				REMARKS
MATERIAL	COLOR	MANUF	STYLE/FINISH	COLOR	SIZE	
CT	01	ROYAL MOSA	GLOBAL COLLECTION FLOOR TILE	75170V	12" X 12"	
CT	02	ROYAL MOSA	GLOBAL COLLECTION WALL TILE	16680	6" X 6"	CT TO 6'-0" AFF
CTB	01	ROYAL MOSA	GLOBAL COLLECTION FLOOR TRIM	15200	6" X 6"	
GR	01	DALTILE	DAKOTA MAHOGANY	G792	2CM THICKNESS	EDGE: STRAIGHT WITH SLIGHT BEVEL
PLM	01	FORMICA	MATTE	7813 CARDBOARD SOLIDZ	-	FLAME SPREAD: CLASS C
PLM	02	FORMICA	MATTE GRADE 10	515 GRAPHITE GRAFIX	-	FLAME SPREAD: CLASS C
PNT	01	SHERWIN WILLIAMS	EG-SHEL	GLITTERY YELLOW #7125	-	

**ST. PETERSBURG KENNEL CLUB**  
 Renovation

Project Location:  
 10490 Gandy Blvd  
 St. Petersburg, Florida 33702

**REVISIONS**

No.	Date	Revision
1	08-13-10	Addendum Number #1

Drawn By: JA  
 Checked By: JF

**Schedules**

# A600

Project: 10001-2  
 Date: August 04, 2010







## Construction Documents

Certificate # 8304  
 Mark E. Awmiller, P.E. 53973

Signature \_\_\_\_\_ Date \_\_\_\_\_

## ST. PETERSBURG KENNEL CLUB

Renovation

Project Location:  
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### REVISIONS

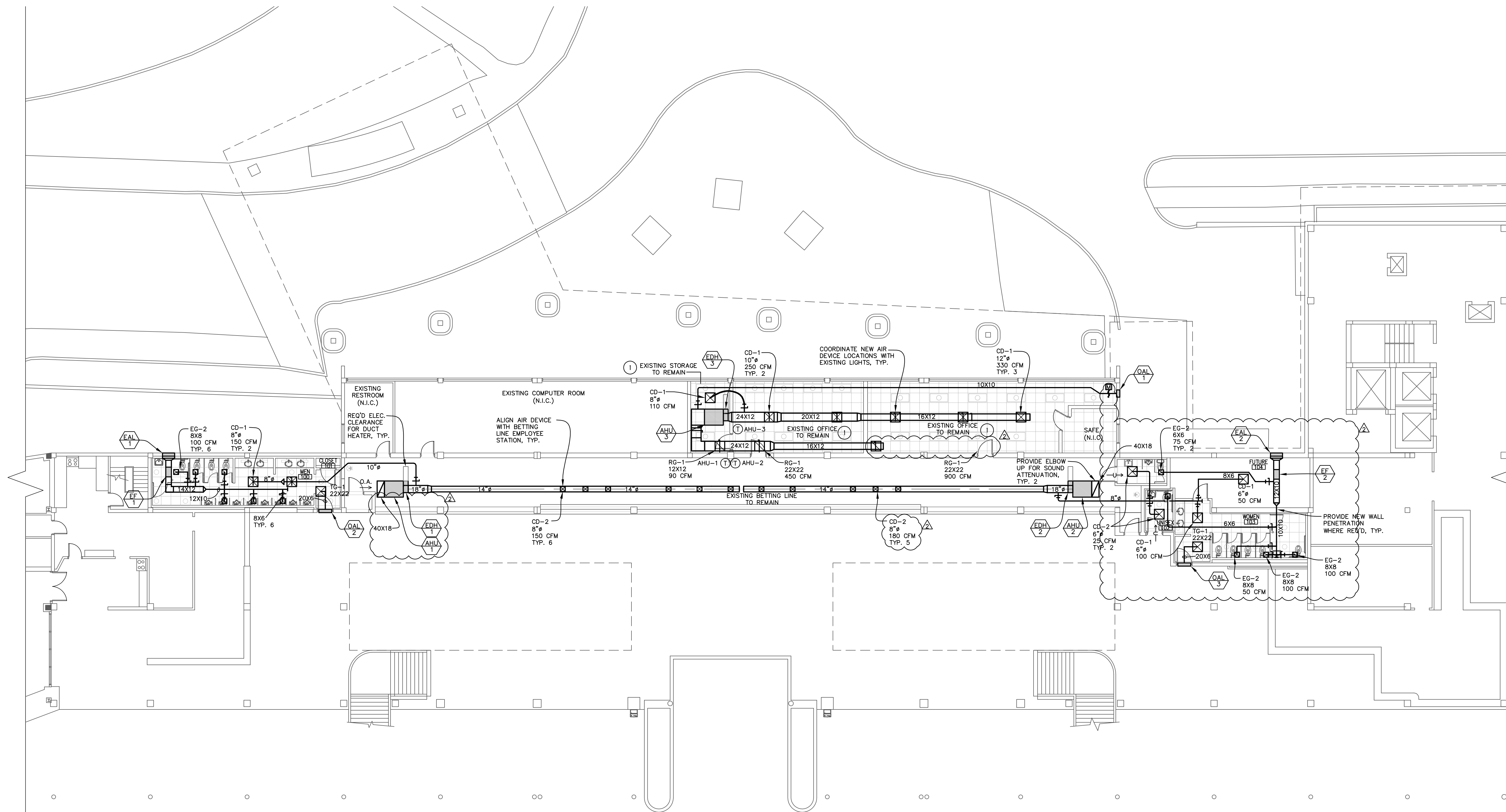
No.	Date	Revision
1	09-20-10	Fixture Count Reduction

Drawn By: MES AR  
 Checked By: MEA MEA

## Floor Plan - Mechanical

# M100

Project: 10001-2  
 Date: August 04, 2010





## Construction Documents

Certificate # 8304  
 Mark E. Awmiller, P.E. 53973

Signature \_\_\_\_\_ Date \_\_\_\_\_

## ST. PETERSBURG KENNEL CLUB

Renovation

Project Location:  
 10490 Gandy Blvd  
 St. Petersburg, Florida 33702

### REVISIONS

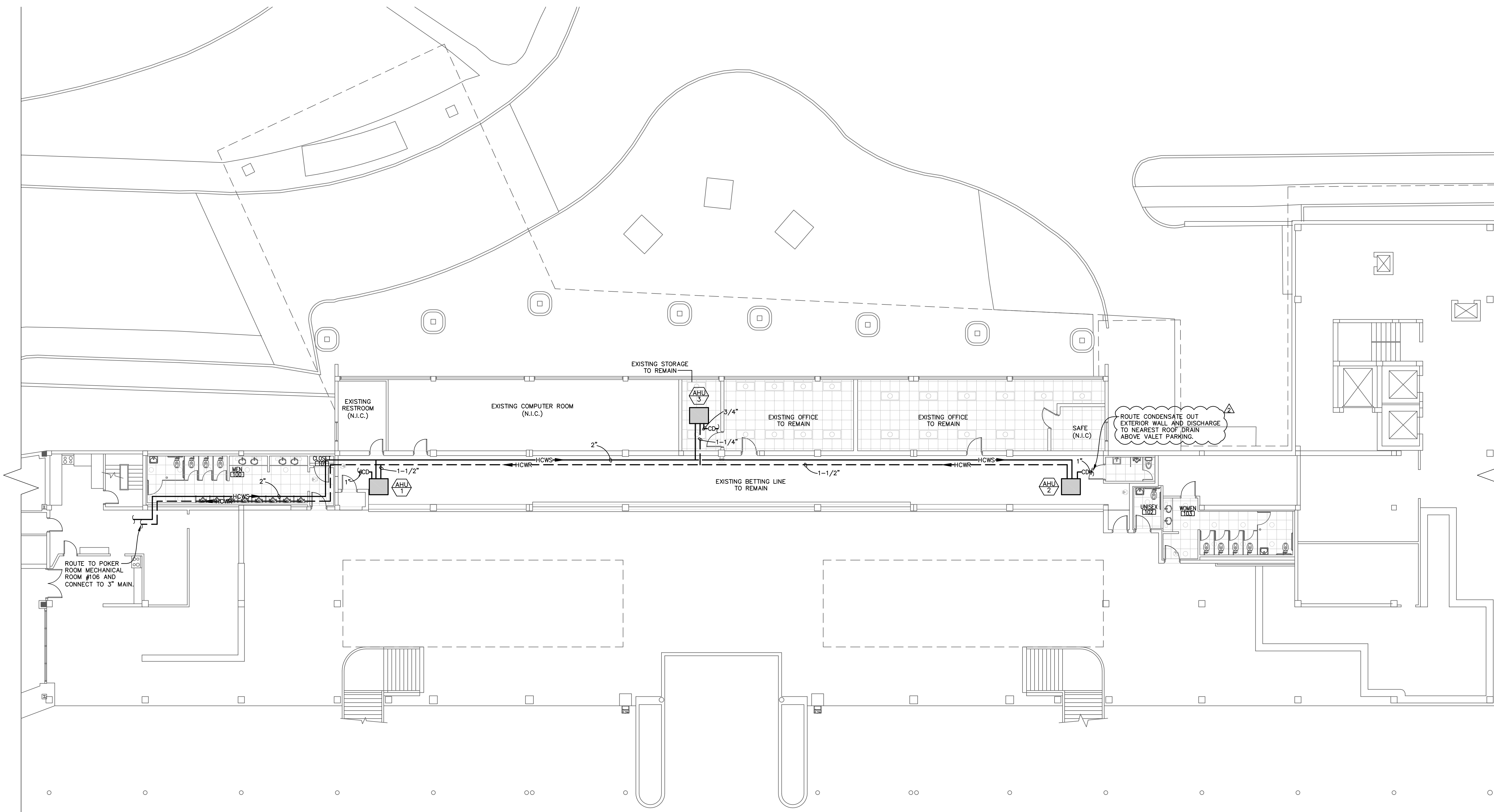
No.	Date	Revision
△	09-20-10	Fixture Count Reduction

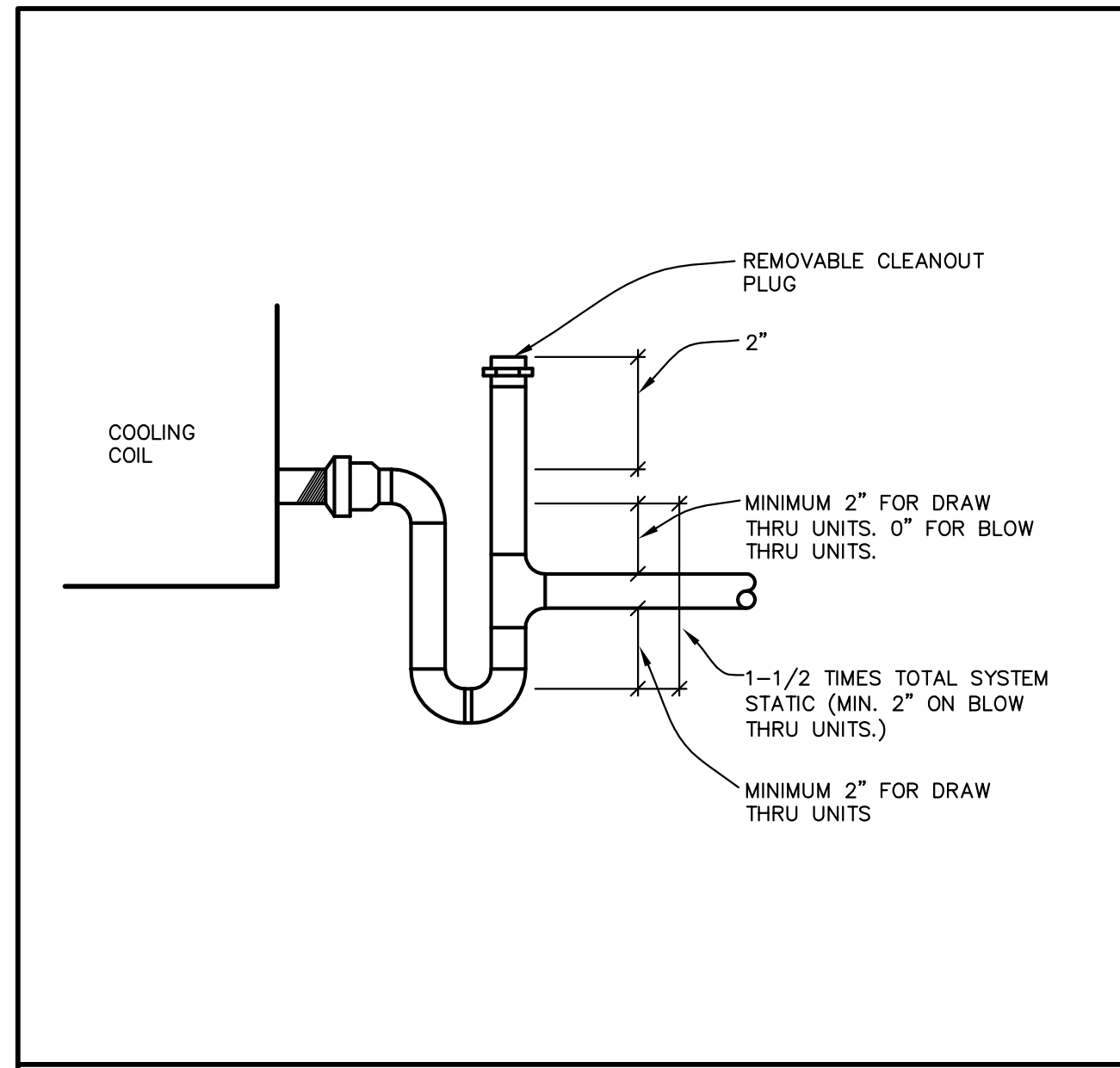
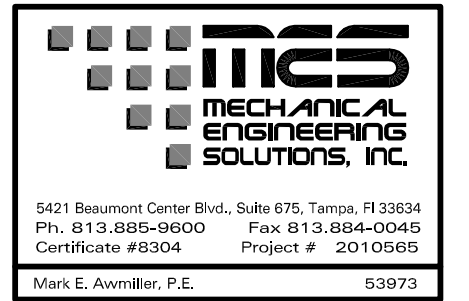
Drawn By: MES AR  
 Checked By: MEA MEA

Floor Plan - Mechanical

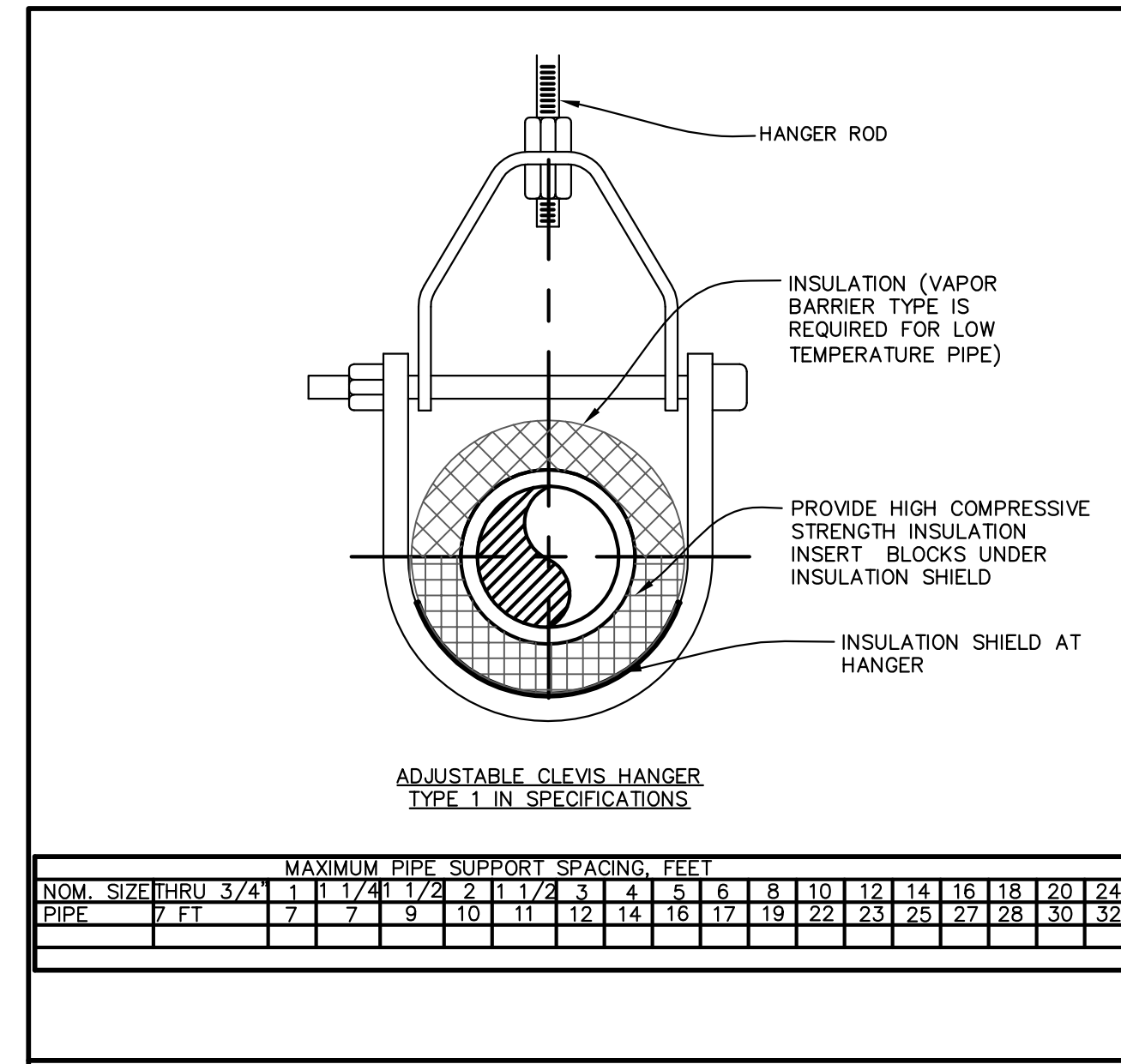
# M101

Project: 10001-2  
 Date: August 04, 2010

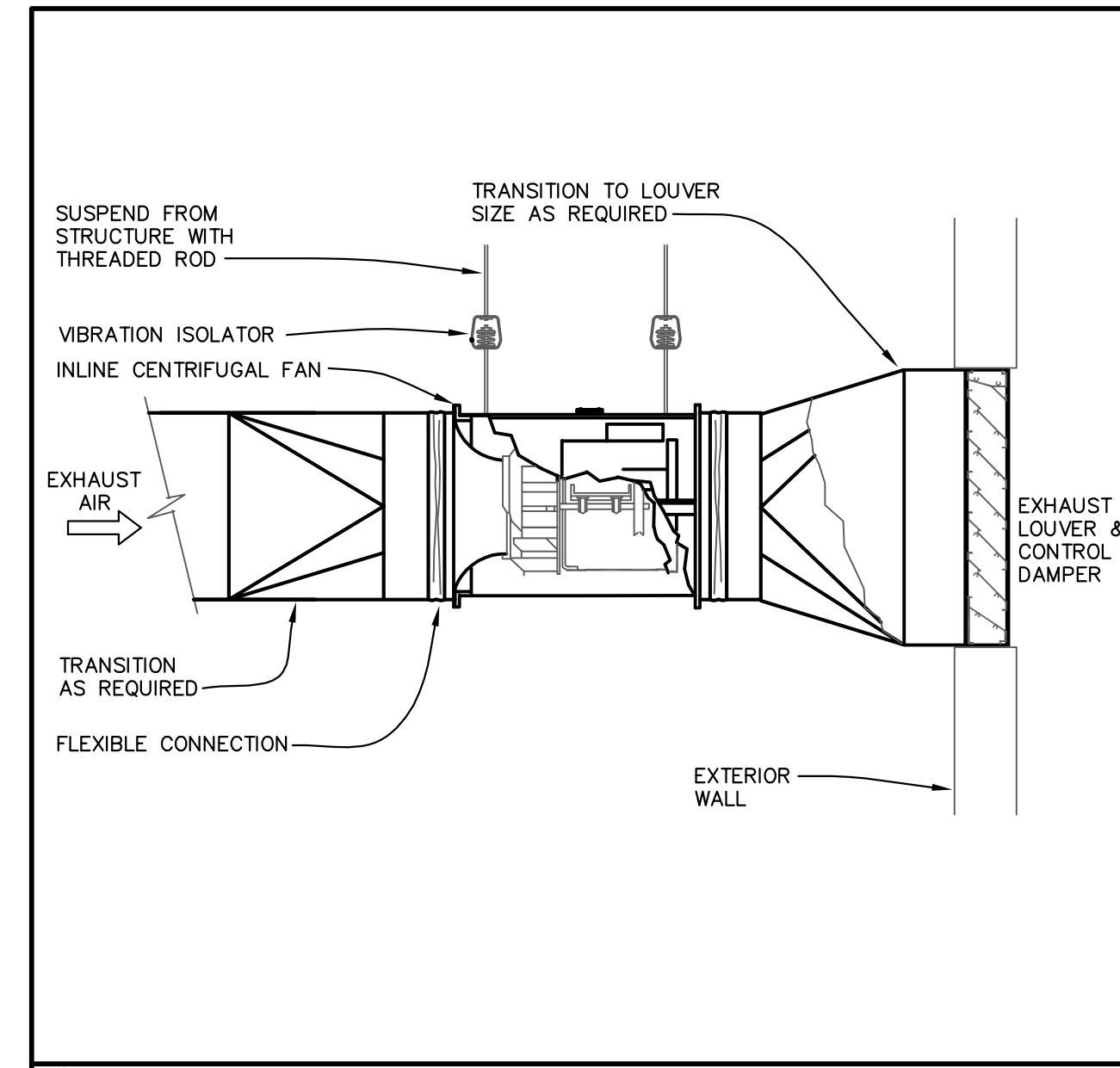




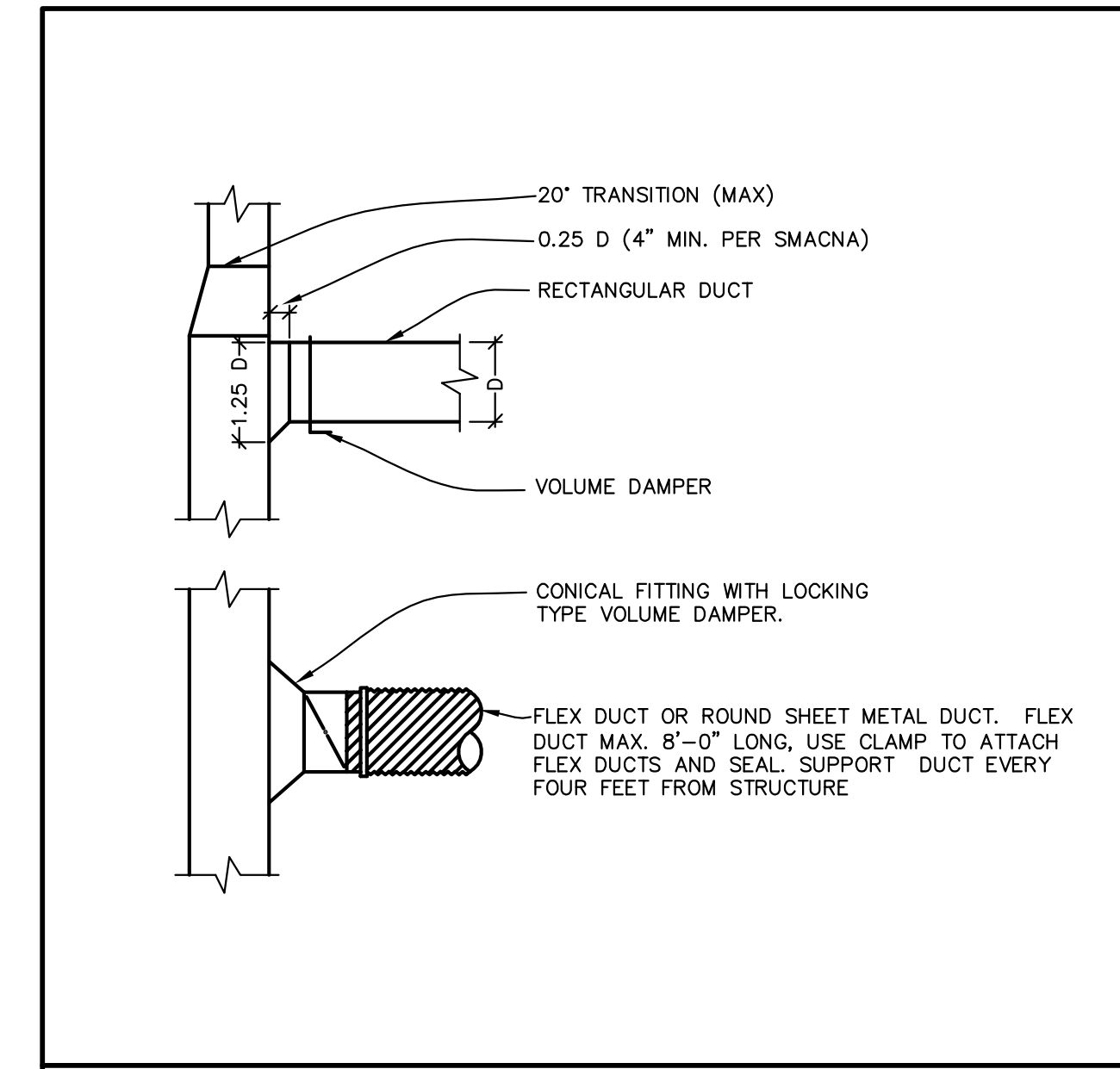
① COOLING COIL DRAIN TRAP DETAIL nts



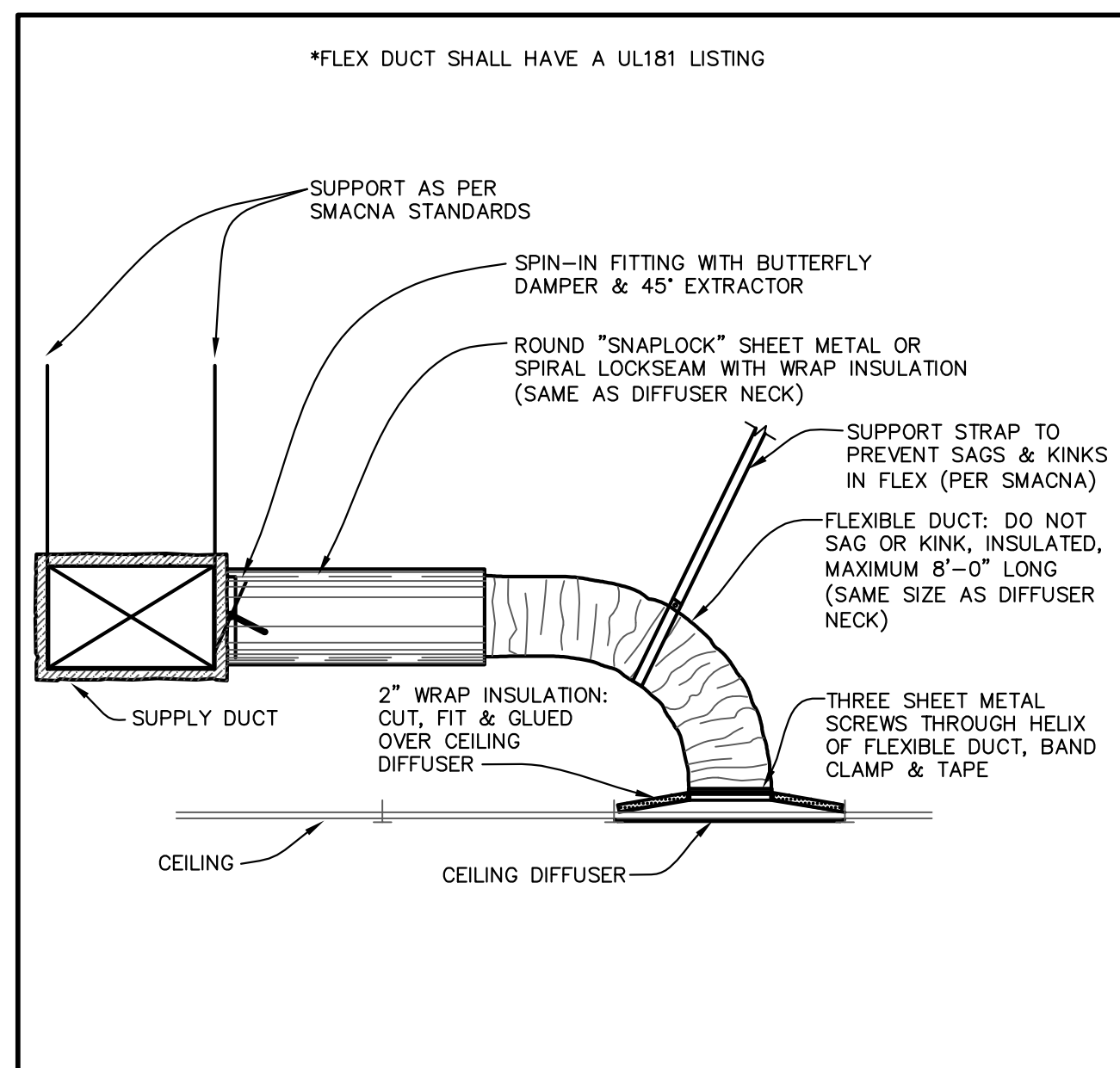
② PIPE HANGER DETAIL nts



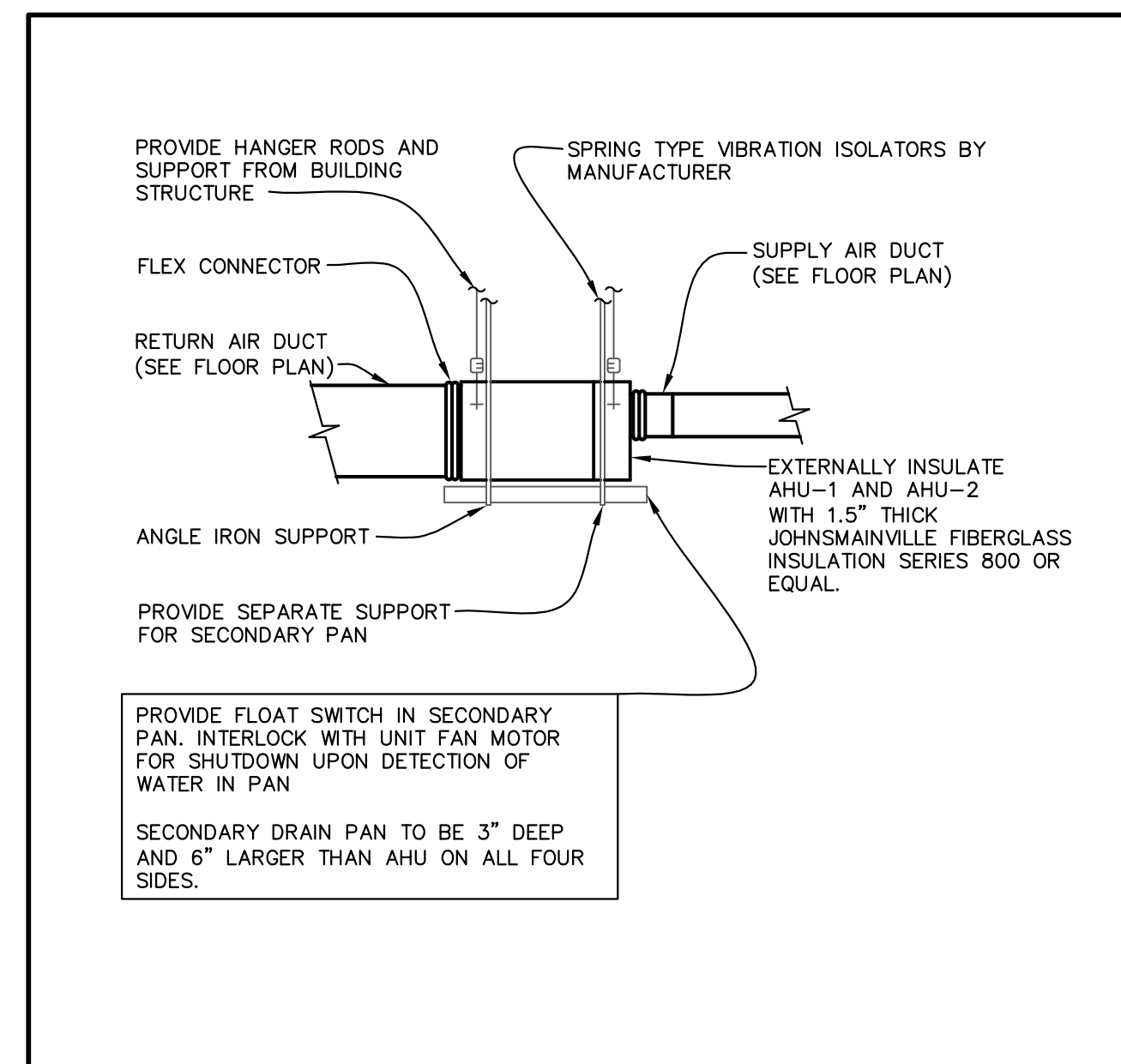
③ INLINE EXHAUST FAN DETAIL W/ LOUVER nts



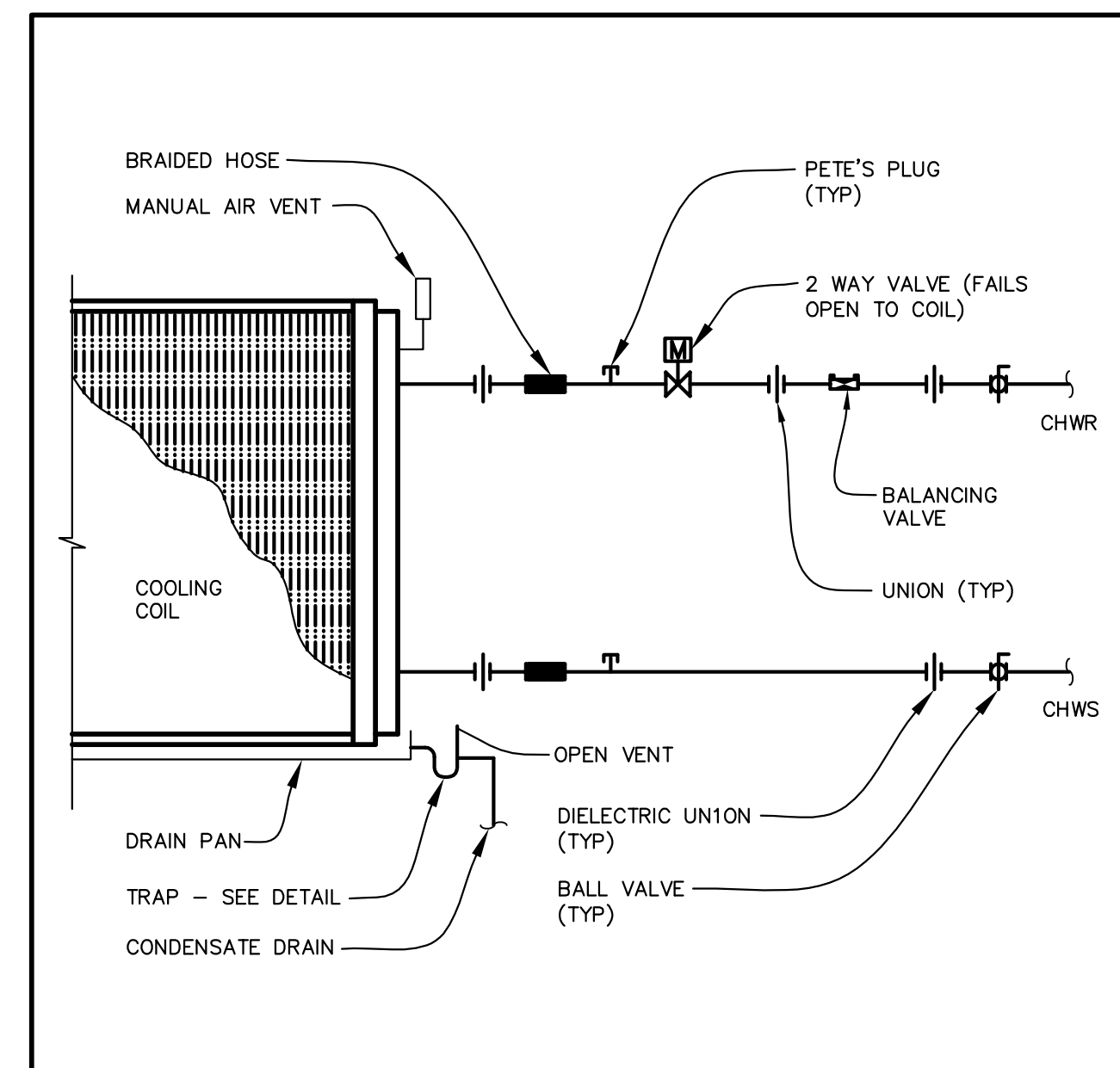
④ DUCT DETAILS nts



⑤ CEILING DIFFUSER RUNOUT DETAIL nts



⑥ AIR HANDLER MOUNTING DETAIL nts



⑨ 2-WAY COOLING COIL PIPING DETAIL nts

## Construction Documents

Certificate # 8304  
Mark E. Awmiller, P.E. 53973

Signature \_\_\_\_\_ Date \_\_\_\_\_

## ST. PETERSBURG KENNEL CLUB

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St. Petersburg, Florida 33702

### REVISIONS

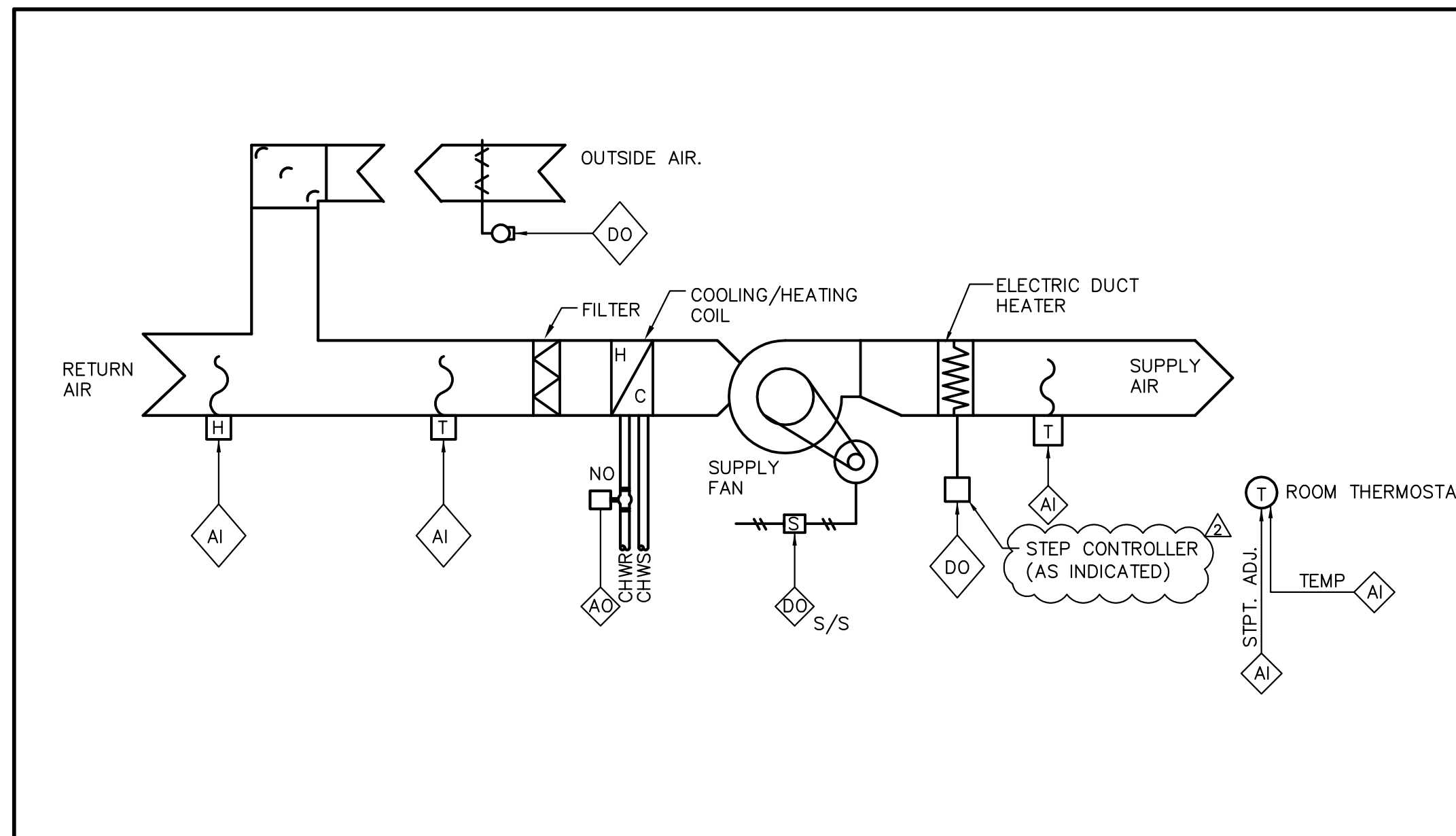
No.	Date	Revision
Δ	09-20-10	Fixture Count Reduction

Drawn By: MES AR  
Checked By: MEA MEA

Details - Mechanical

# M500

Project: 10001-2  
Date: August 04, 2010



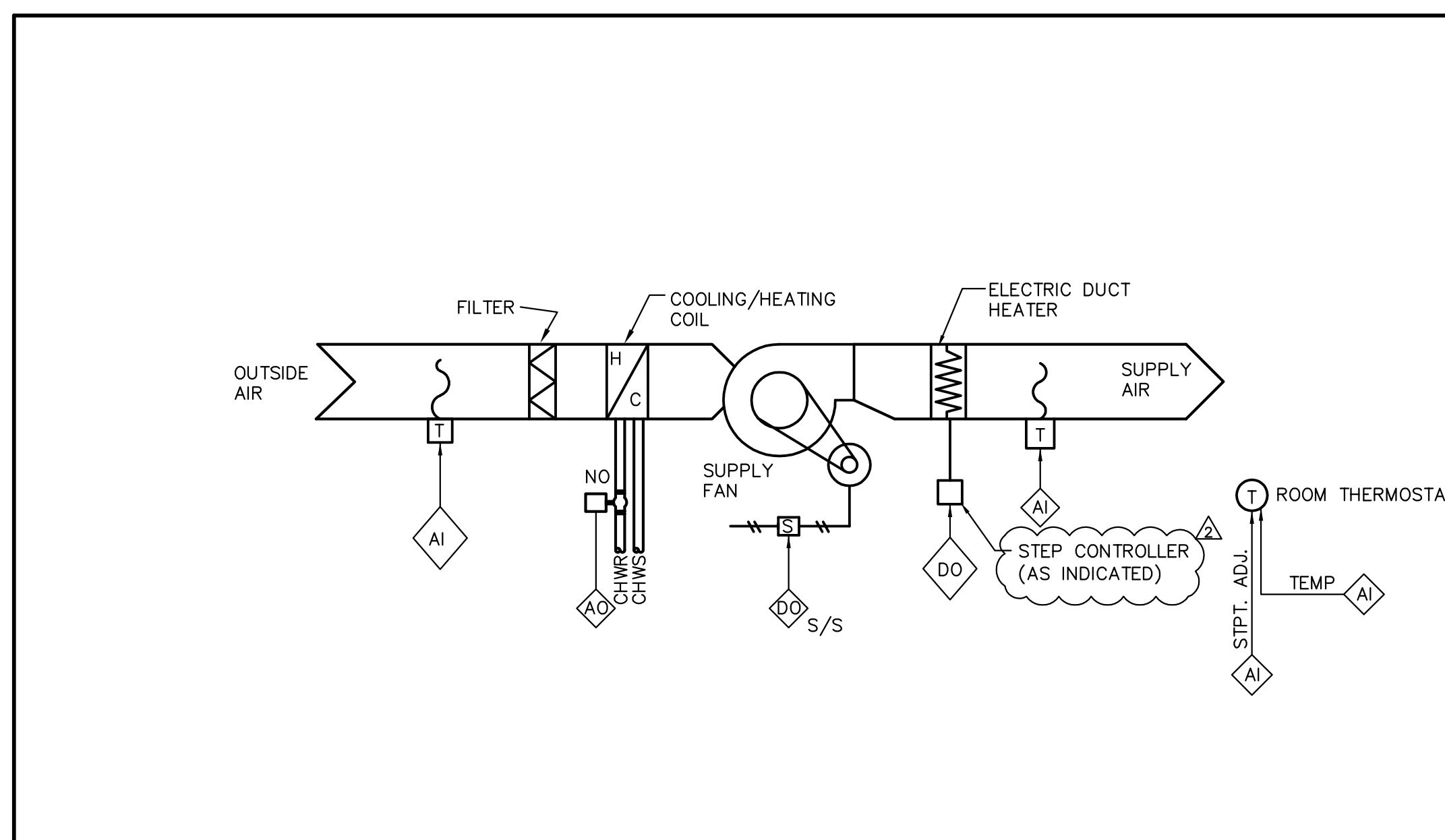
**SEQUENCE OF OPERATION**

**HEATING MODE (HOT WATER AVAILABLE)**  
FOR A ROOM SPACE TEMPERATURE BETWEEN 71.5°F AND 74.5°F (SOFTWARE ADJUSTABLE) A DEAD BAND IS TO EXIST IN WHICH THE CHILLED/HOT WATER 2-WAY VALVE IS CLOSED. DURING THIS DEAD BAND NO CONTROL ACTION IS TO OCCUR.  
UPON A DROP IN THE ROOM SPACE TEMPERATURE BELOW THE HEATING SETPOINT (71°F – SOFTWARE ADJUSTABLE) THE CHILLED/HOT WATER 2-WAY VALVE SHALL MODULATE OPEN TO MAINTAIN THE ROOM HEATING SETPOINT ; ±.5° F. IN THE EVENT THAT HOT WATER IS NOT AVAILABLE, AUXILIARY ELECTRIC HEAT SHALL ENGAGE AND BE STAGED ACCORDINGLY.

**COOLING MODE (CHILLED WATER AVAILABLE)**  
FOR EACH SYSTEM, THE 2-WAY CHILLED/HOT WATER VALVE SHALL BE MODULATED TO MAINTAIN THE COOLING ROOM TEMPERATURE SETPOINT. PROVIDE A SPACE TEMPERATURE INPUT TO THE DDC. MAINTAIN THE SPACE COOLING COOLING TEMPERATURE SETPOINT (75°F ±.5°F – SOFTWARE ADJUSTABLE).  
FOR A ROOM SPACE TEMPERATURE BETWEEN 71.5°F AND 74.5°F (SOFTWARE ADJUSTABLE) A DEAD BAND IS TO EXIST IN WHICH THE CHILLED/HOT WATER 2-WAY VALVE IS CLOSED AND THE ELECTRIC HEAT IS INACTIVE. DURING THIS DEAD BAND NO CONTROL ACTION IS TO OCCUR.  
UPON A DROP IN THE ROOM SPACE TEMPERATURE BELOW THE HEATING SETPOINT (71°F – SOFTWARE ADJUSTABLE) THE ELECTRIC HEATING SHALL BE ENERGIZED AND STAGED TO MAINTAIN THE ROOM HEATING SETPOINT ±.5° F.

**ALARMS & SCHEDULES**  
THE UNIT'S FAN SHALL OPERATE AS PER THE USER PROGRAMMABLE SCHEDULE. THE OUTSIDE AIR DAMPER SHALL BE CLOSED WHEN THE BUILDING IS NOT SCHEDULED FOR OCCUPANCY.

① TYPICAL CONSTANT VOLUME AIR HANDLING UNIT- TWO PIPE SYSTEM nts (AHU-3)



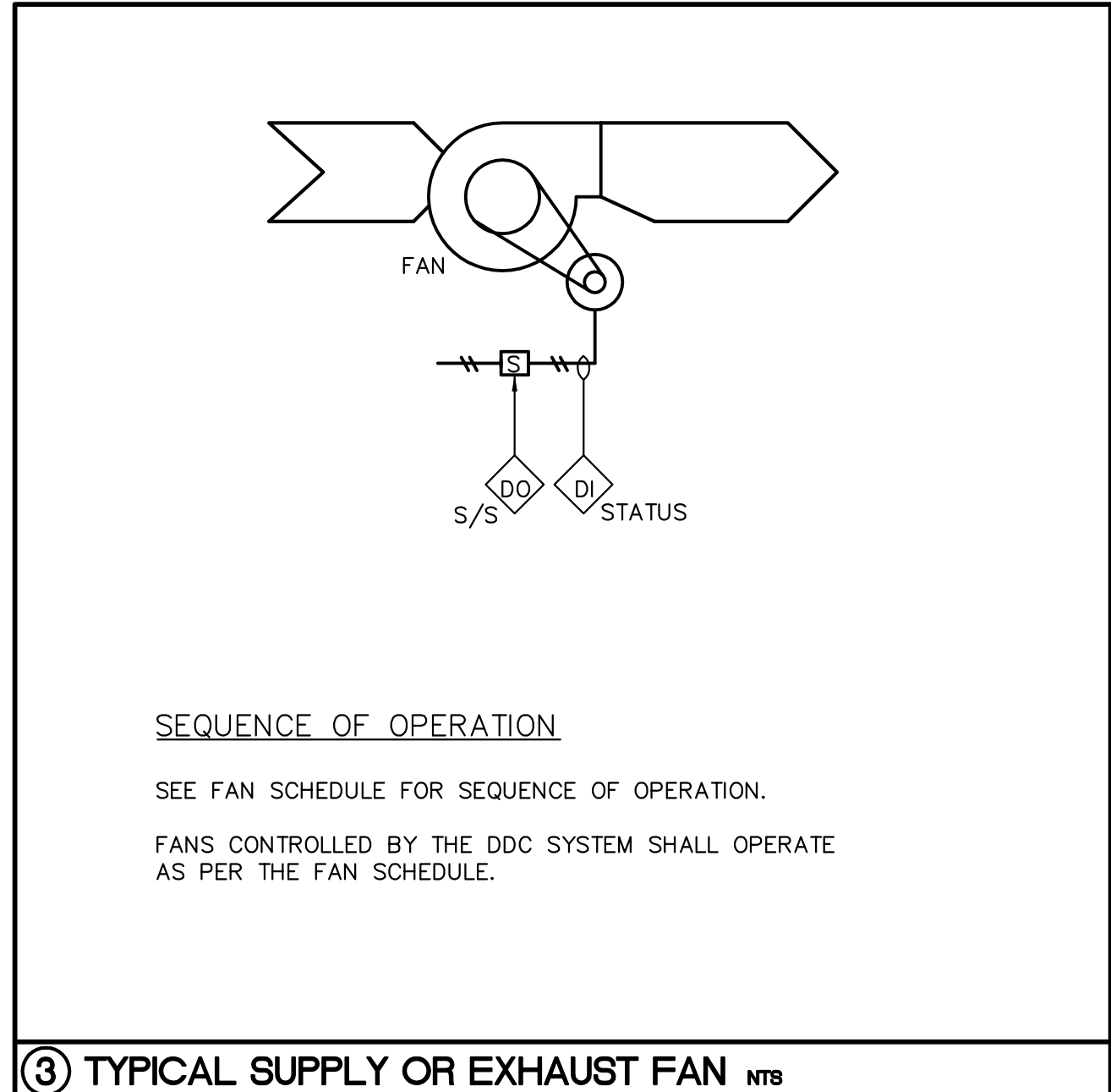
**SEQUENCE OF OPERATION**

**HEATING MODE (HOT WATER AVAILABLE)**  
FOR A ROOM SPACE TEMPERATURE BETWEEN 71.5°F AND 74.5°F (SOFTWARE ADJUSTABLE) A DEAD BAND IS TO EXIST IN WHICH THE CHILLED/HOT WATER VALVE IS CLOSED. DURING THIS DEAD BAND NO CONTROL ACTION IS TO OCCUR.  
UPON A DROP IN THE ROOM SPACE TEMPERATURE BELOW THE HEATING SETPOINT (71°F – SOFTWARE ADJUSTABLE) THE CHILLED/HOT WATER VALVE SHALL MODULATE OPEN TO MAINTAIN THE ROOM HEATING SETPOINT ; ±.5° F. IN THE EVENT THAT HOT WATER IS NOT AVAILABLE, AUXILIARY ELECTRIC HEAT SHALL ENGAGE AND BE STAGED ACCORDINGLY.

**COOLING MODE (CHILLED WATER AVAILABLE)**  
FOR EACH SYSTEM, THE TWO WAY CHILLED/HOT WATER VALVE SHALL BE MODULATED TO MAINTAIN THE COOLING ROOM TEMPERATURE SETPOINT. PROVIDE A SPACE TEMPERATURE INPUT TO THE DDC. MAINTAIN THE SPACE COOLING COOLING TEMPERATURE SETPOINT (75°F ±.5°F – SOFTWARE ADJUSTABLE).  
FOR A ROOM SPACE TEMPERATURE BETWEEN 71.5°F AND 74.5°F (SOFTWARE ADJUSTABLE) A DEAD BAND IS TO EXIST IN WHICH THE CHILLED/HOT WATER VALVE IS CLOSED AND THE ELECTRIC HEAT IS INACTIVE. DURING THIS DEAD BAND NO CONTROL ACTION IS TO OCCUR.  
UPON A DROP IN THE ROOM SPACE TEMPERATURE BELOW THE HEATING SETPOINT (71°F – SOFTWARE ADJUSTABLE) THE ELECTRIC HEATING SHALL BE ENERGIZED AND STAGED TO MAINTAIN THE ROOM HEATING SETPOINT ±.5° F.

**ALARMS & SCHEDULES**  
THE UNIT'S FAN SHALL OPERATE AS PER THE USER PROGRAMMABLE SCHEDULE.

② TYPICAL CONSTANT VOLUME AIR HANDLING UNIT- TWO PIPE SYSTEM nts (AHU-1 AND 2)



③ TYPICAL SUPPLY OR EXHAUST FAN nts

**CONTROLS NOTES:**  
1. THE BUILDINGS EXISTING CONTROL SYSTEM IS TRANE TRACER.

**Construction Documents**

Certificate # 8304  
Mark E. Awmiller, P.E. 53973

Signature \_\_\_\_\_ Date \_\_\_\_\_

**ST. PETERSBURG KENNEL CLUB**  
Renovation

Project Location:  
10490 Gandy Blvd  
St. Petersburg, Florida 33702

REVISIONS		
No.	Date	Revision
△	09-20-10	Fixture Count Reduction

Drawn By: MES AR  
Checked By: MEA MEA

Controls - Mechanical  
**M501**





## Construction Documents

Certificate # 8304  
Mark E. Awwiller, P.E. 53973

Signature \_\_\_\_\_ Date \_\_\_\_\_

## ST. PETERSBURG KENNEL CLUB

Renovation

Project Location:  
10490 Gandy Blvd  
St. Petersburg, Florida 33702

### REVISIONS

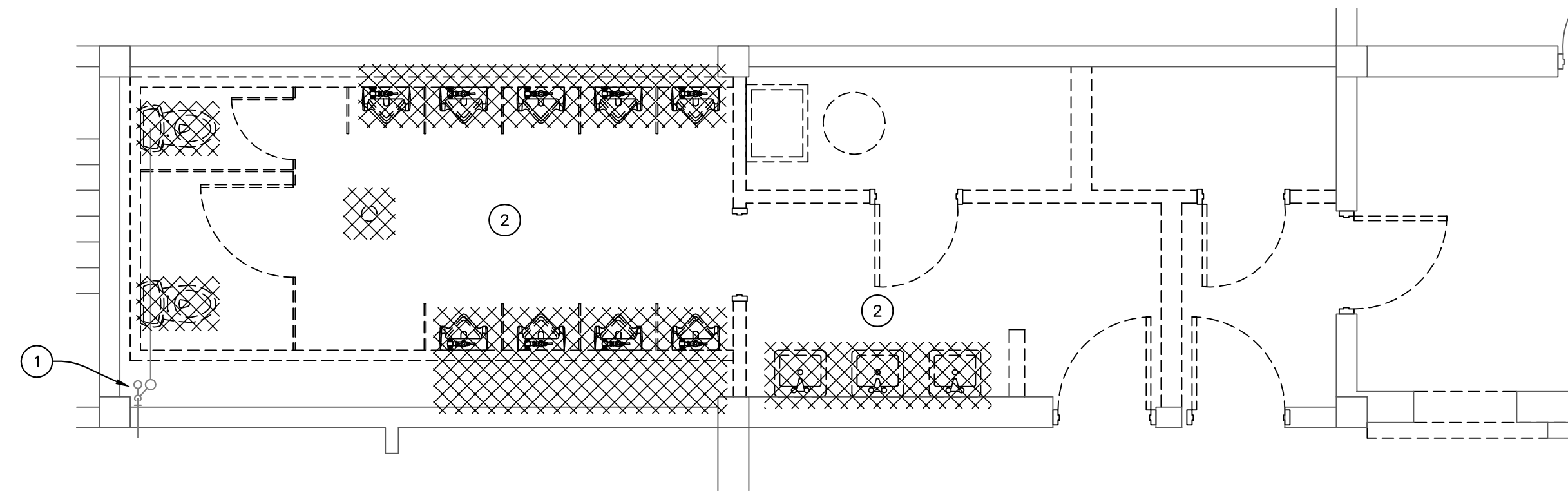
No.	Date	Revision
Δ	09-20-10	Fixture Count Reduction

Drawn By: M&S AR  
Checked By: MEA MEA

## Enlarged Floor Plan - Plumbing

# P400

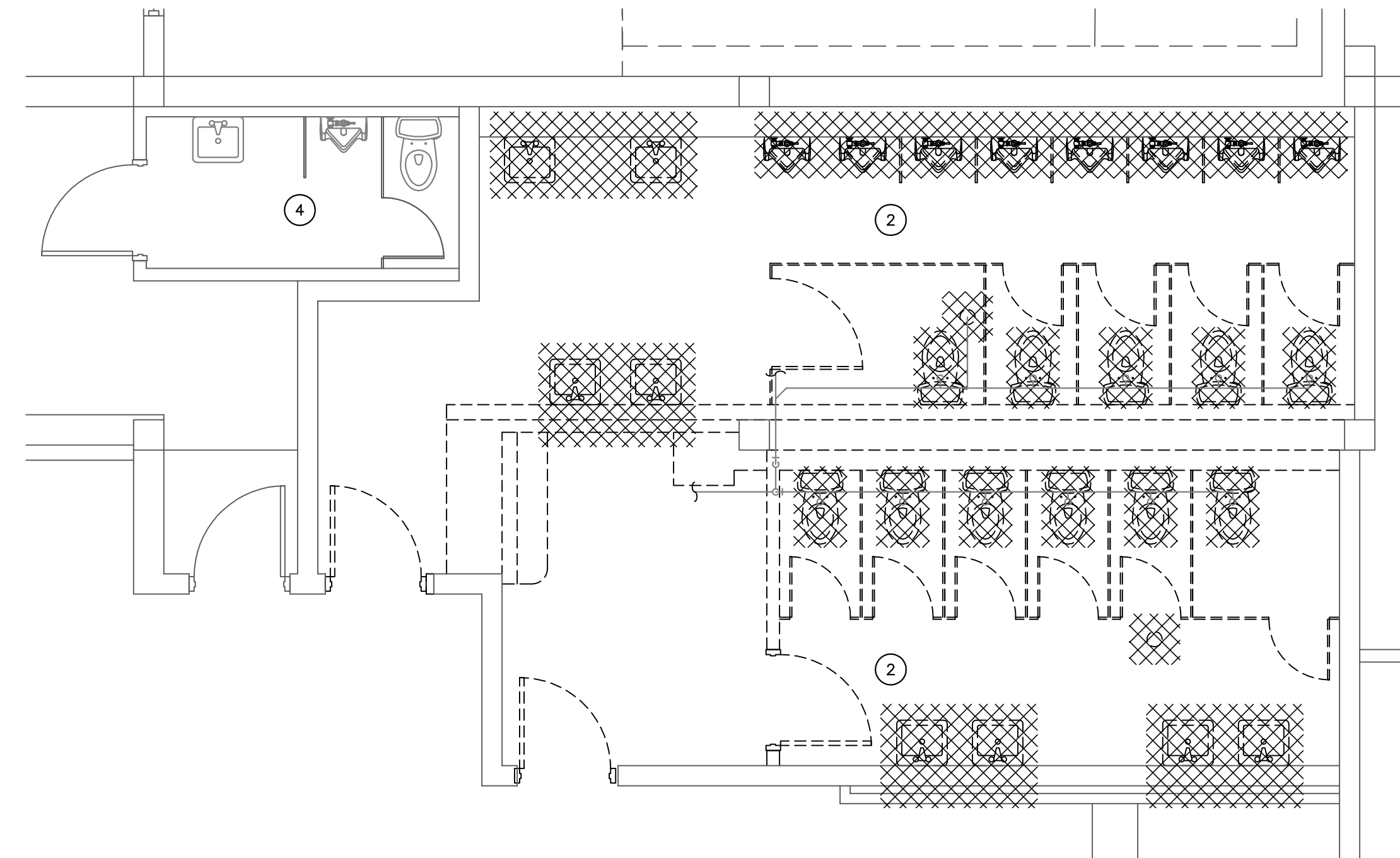
Project: 10001-2  
Date: August 04, 2010



**DRAWING NOTES:**

- EXISTING RISER TO REMAIN.
- EXISTING PLUMBING FIXTURES TO BE REMOVED. CONTRACTOR TO REMOVE SANITARY AND VENT PIPING BACK TO RISER. WATER PIPING TO BE REMOVED.
- CONTRACTOR TO INSURE ALL REMAINING PARTS OF THE BUILDING REMAINS IN OPERATION.

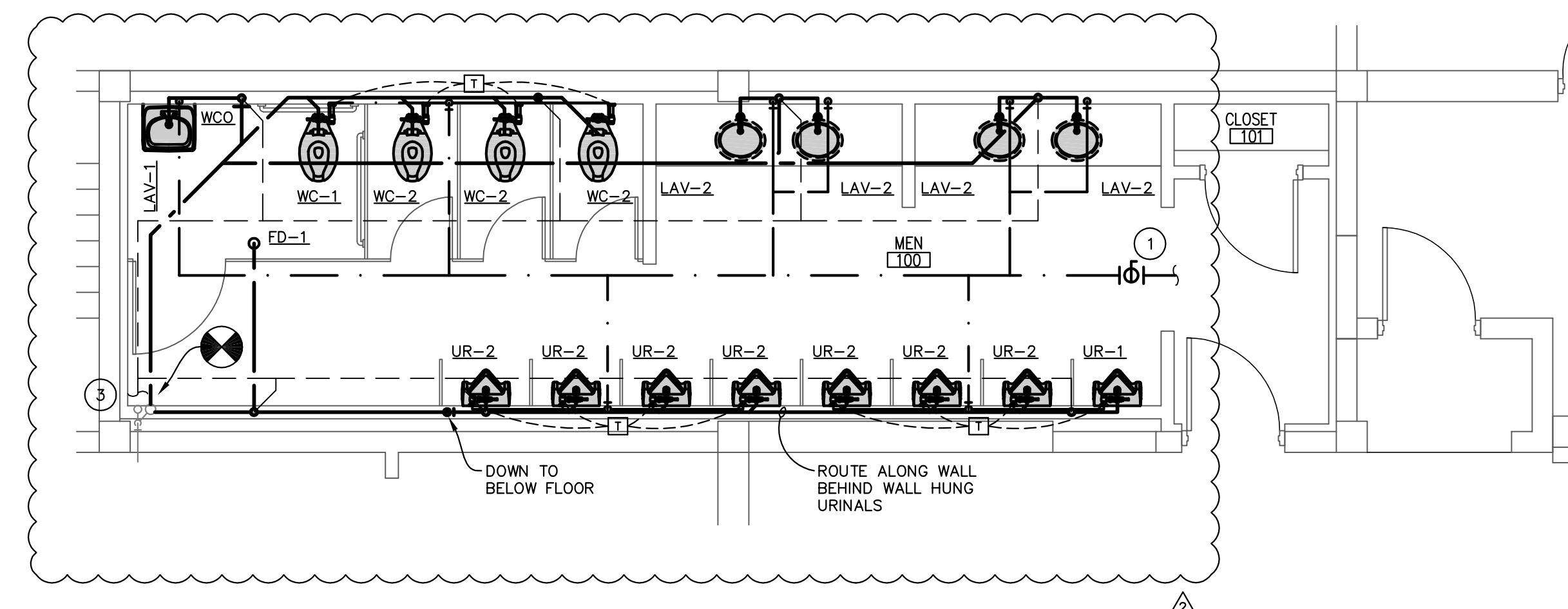
**D1** Demo Restroom Floor Plan - Plumbing  
SCALE: 1/4" = 1'-0"



**DRAWING NOTES:**

- EXISTING RISER TO REMAIN.
- EXISTING PLUMBING FIXTURES TO BE REMOVED. CONTRACTOR TO REMOVE SANITARY AND VENT PIPING BACK TO RISER. WATER PIPING TO BE REMOVED.
- CONTRACTOR TO INSURE ALL REMAINING PARTS OF THE BUILDING REMAINS IN OPERATION.
- EXISTING RESTROOM TO REMAIN.

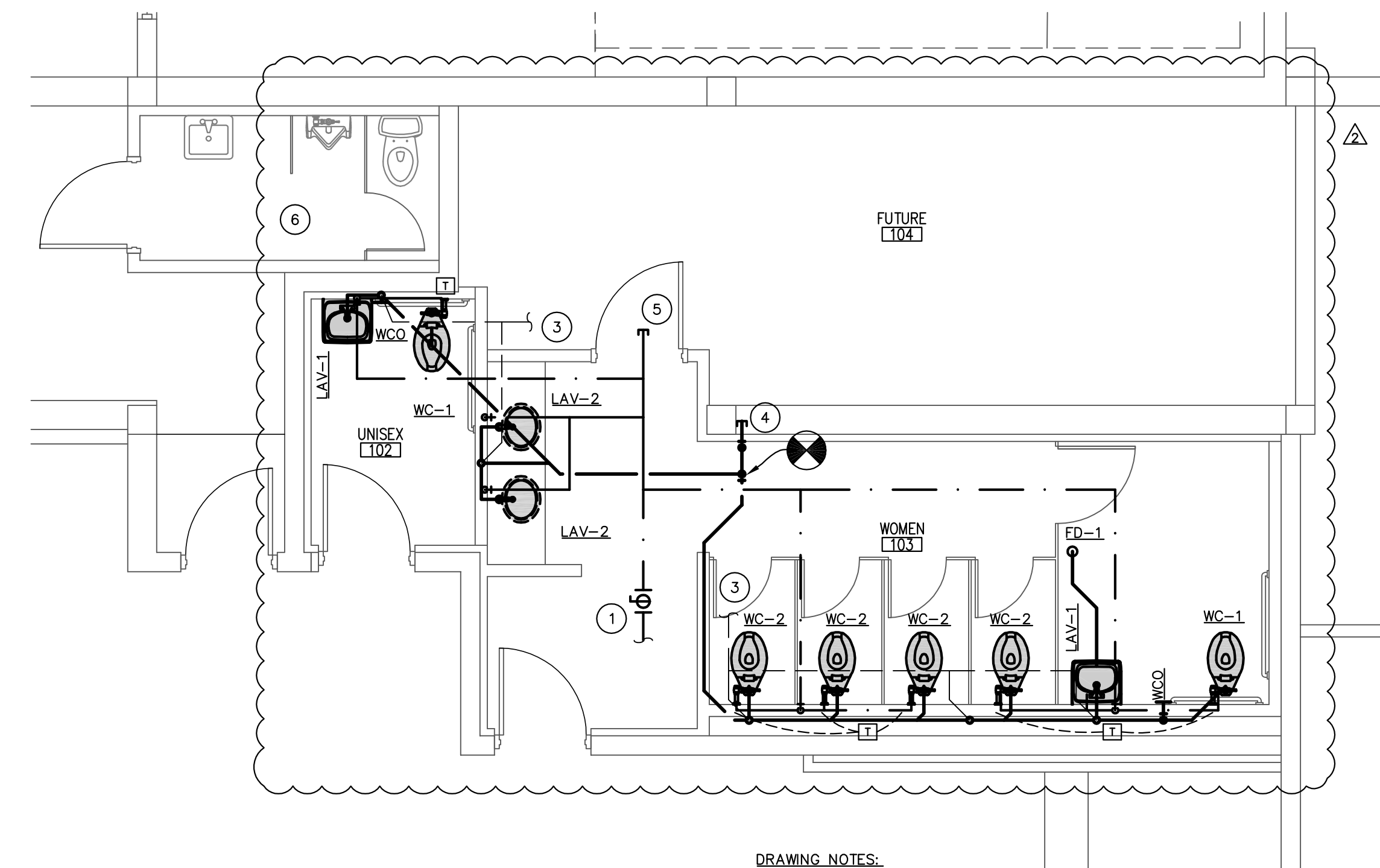
**D3** Demo Restroom Floor Plan - Plumbing  
SCALE: 1/4" = 1'-0"



**DRAWING NOTES:**

- PLUMBING CONTRACTOR TO PROVIDE TAG FOR T-BAR WITH LOCATION OF ISOLATION VALVE AND SERVICE VALVES. ROUTE TO EXISTING COLD WATER SERVICE, CONTRACTOR TO FIELD VERIFY LOCATION FOR POINT OF CONNECTION.
- PLUMBING CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR PRIOR TO START OF WORK FOR PROPER TRANSFORMER AND JUNCTION BOX LOCATIONS.
- ROUTE NEW VENT PIPING TO EXISTING VENT SYSTEM. CONTRACTOR TO FIELD VERIFY LOCATION FOR POINT OF CONNECTION.

**P1** Restroom Floor Plan - Plumbing  
SCALE: 1/4" = 1'-0"

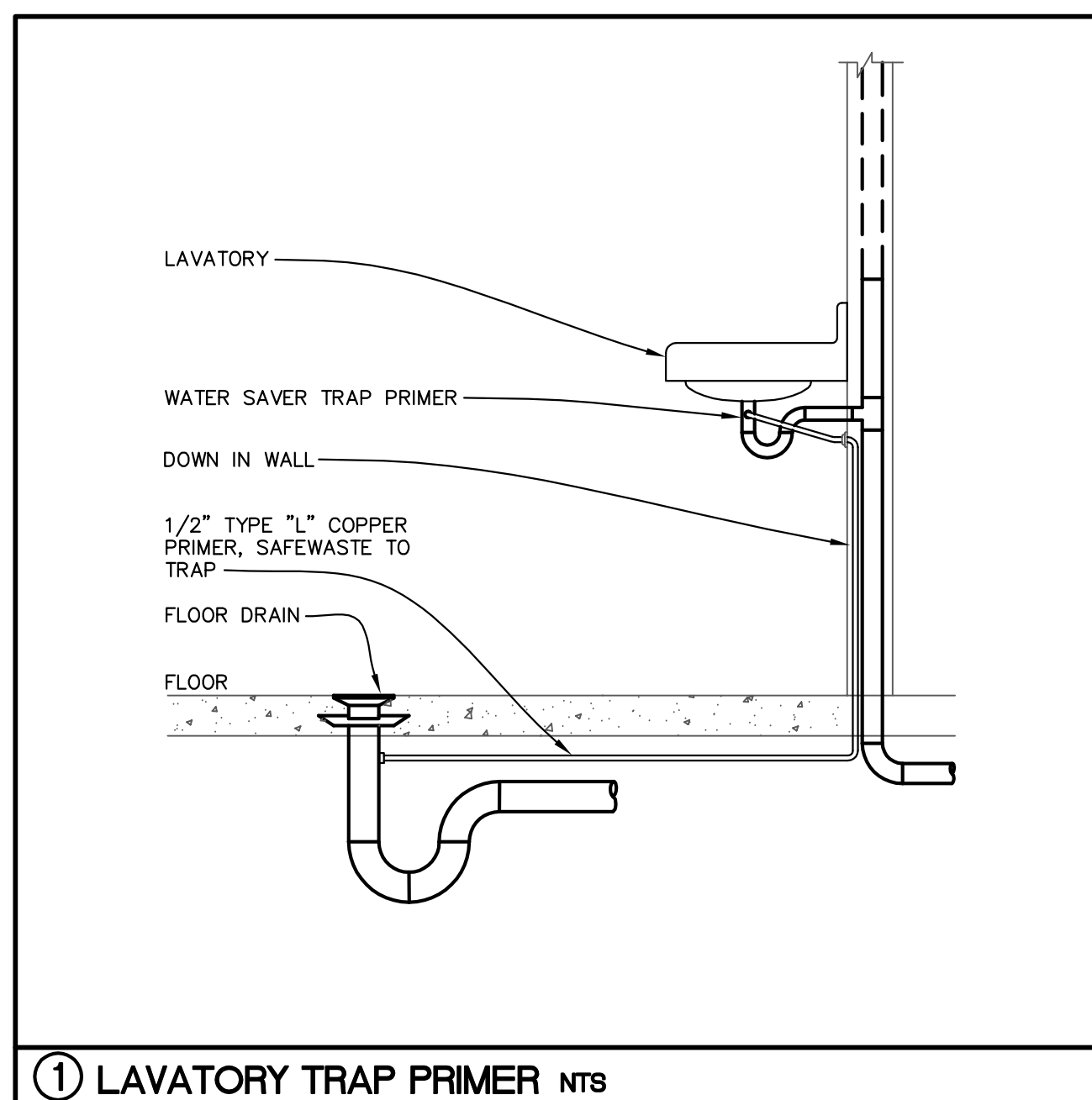
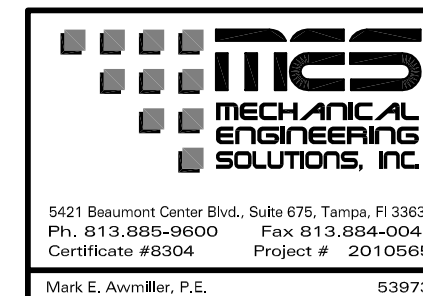


**DRAWING NOTES:**

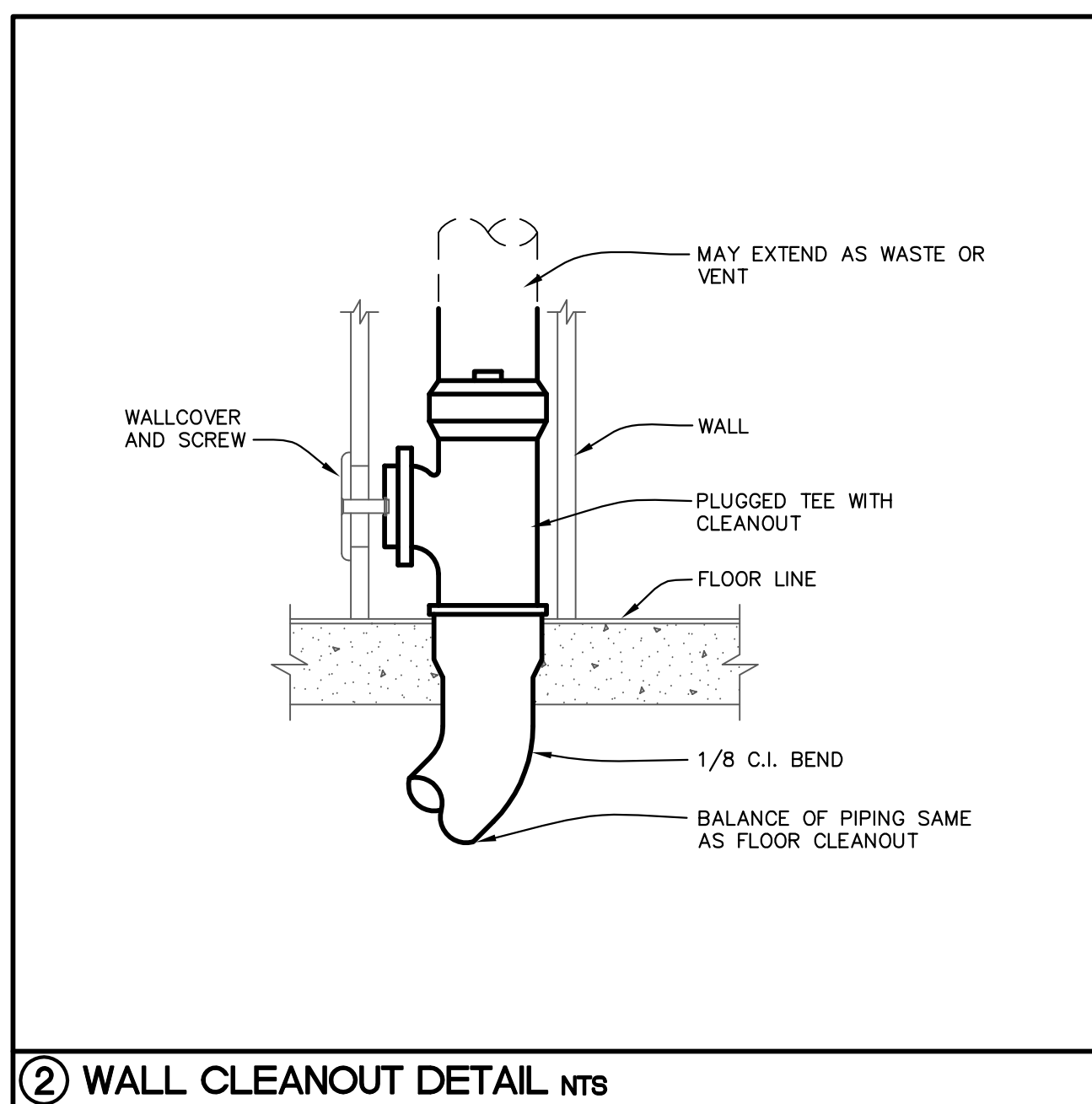
- PLUMBING CONTRACTOR TO PROVIDE TAG FOR T-BAR WITH LOCATION OF ISOLATION VALVE AND SERVICE VALVES. ROUTE TO EXISTING COLD WATER SERVICE, CONTRACTOR TO FIELD VERIFY LOCATION FOR POINT OF CONNECTION.
- PLUMBING CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR PRIOR TO START OF WORK FOR PROPER TRANSFORMER AND JUNCTION BOX LOCATIONS.
- ROUTE NEW VENT PIPING TO EXISTING VENT SYSTEM. CONTRACTOR TO FIELD VERIFY LOCATION FOR POINT OF CONNECTION.
- CAP SANITARY BELOW SLAB FOR FUTURE BUILD-OUT.
- CAP COLD WATER PIPING ABOVE CEILING FOR FUTURE BUILD-OUT.
- EXISTING RESTROOM TO REMAIN.

**P3** Restroom Floor Plan - Plumbing  
SCALE: 1/4" = 1'-0"

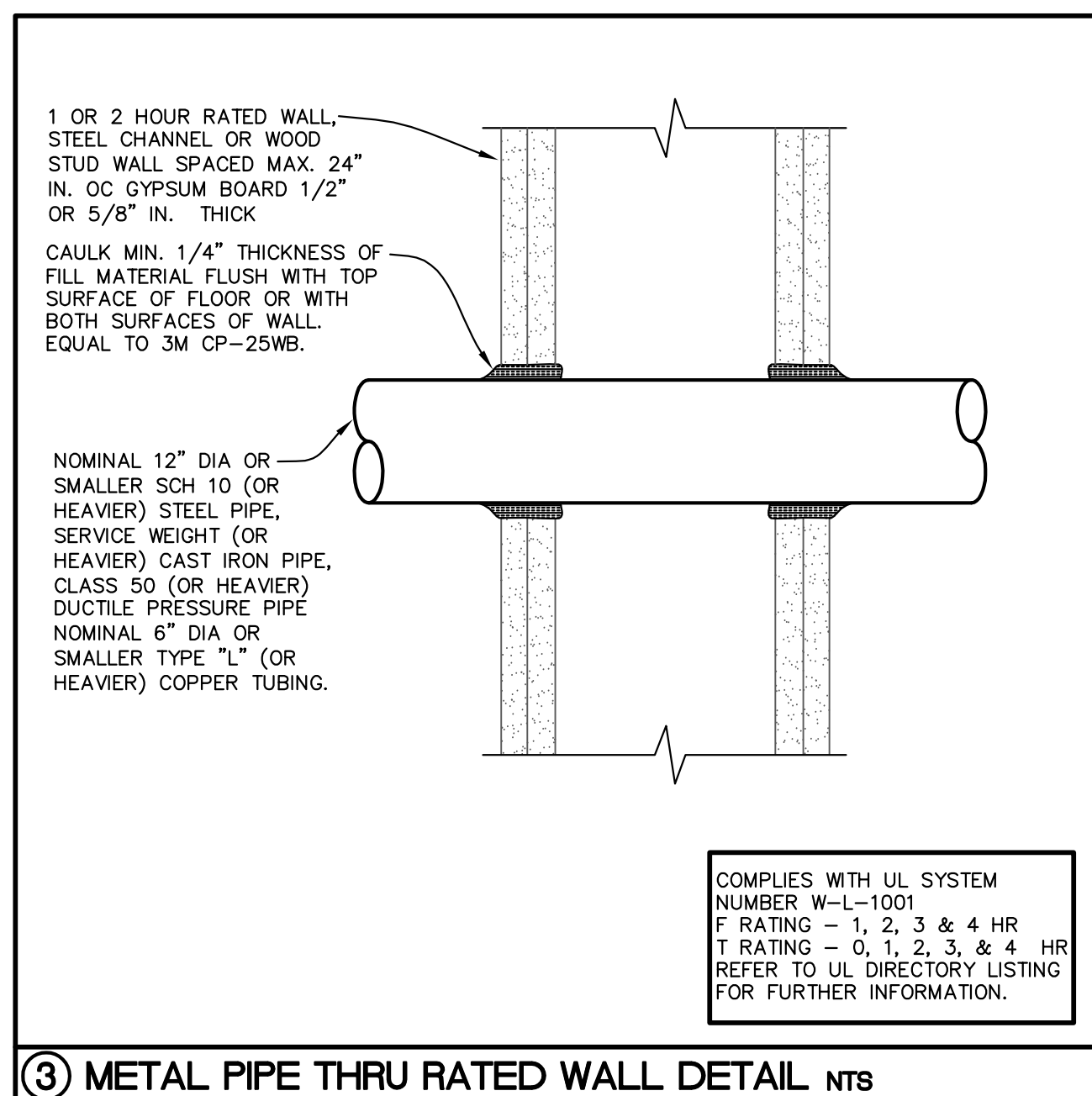




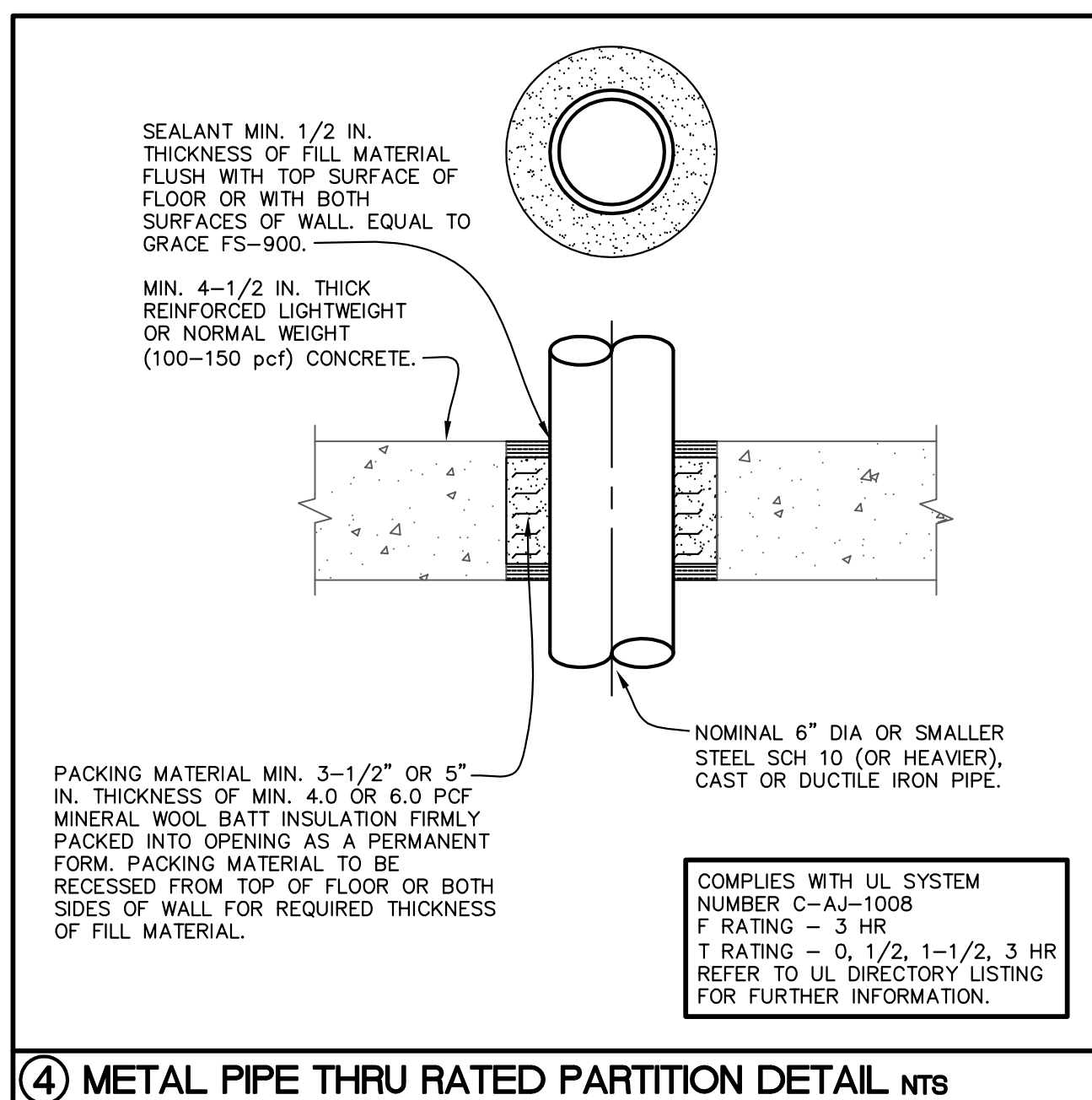
① LAVATORY TRAP PRIMER nts



② WALL CLEANOUT DETAIL nts



③ METAL PIPE THRU RATED WALL DETAIL nts



④ METAL PIPE THRU RATED PARTITION DETAIL nts

PLUMBING LEGEND		
SYMBOL	ABBREV.	DESCRIPTION
—	W	WASTE PIPING
---	(E) W	EXISTING WASTE PIPING
- - - -	V	VENT PIPING
- · - · -	(E) V	EXISTING VENT PIPING
- · - · -	CW	COLD WATER PIPING
- · - · -	(E) CW	EXISTING COLD WATER PIPING
- · - · -	HW	HOT WATER PIPING
- · - · -	(E) HW	EXISTING HOT WATER PIPING
- · - · -	HWR	HOT WATER RETURN PIPING
- · - · -	(E) HWR	EXISTING HOT WATER RETURN PIPING
⊗	WCO	WALL CLEAN OUT
⊗	FCO	FLOOR CLEAN OUT
⊗	GCO	GRADE CLEAN OUT
⊗		POINT OF NEW CONNECTION
⊙		KEY NOTE
△		HOSE BIBB
⊕		BALL VALVE
○		DROP
○		UPTURN
⊥		SIDE DOWN
⊥		TEE-DOWN-ELBOW
⊥		TEE UP
⊥		CROSS
⊥		TEE DOWN
○		RISE

## Construction Documents

Certificate # 8304  
Mark E. Awwiller, P.E. 53973

Signature \_\_\_\_\_ Date \_\_\_\_\_

## ST. PETERSBURG KENNEL CLUB

Renovation

Project Location:  
10490 Gandy Blvd  
St. Petersburg, Florida 33702

## REVISIONS

No.	Date	Revision
1	09-20-10	Fixture Count Reduction

Drawn By: MES AR  
Checked By: MEA MEA

Details - Plumbing

# P501

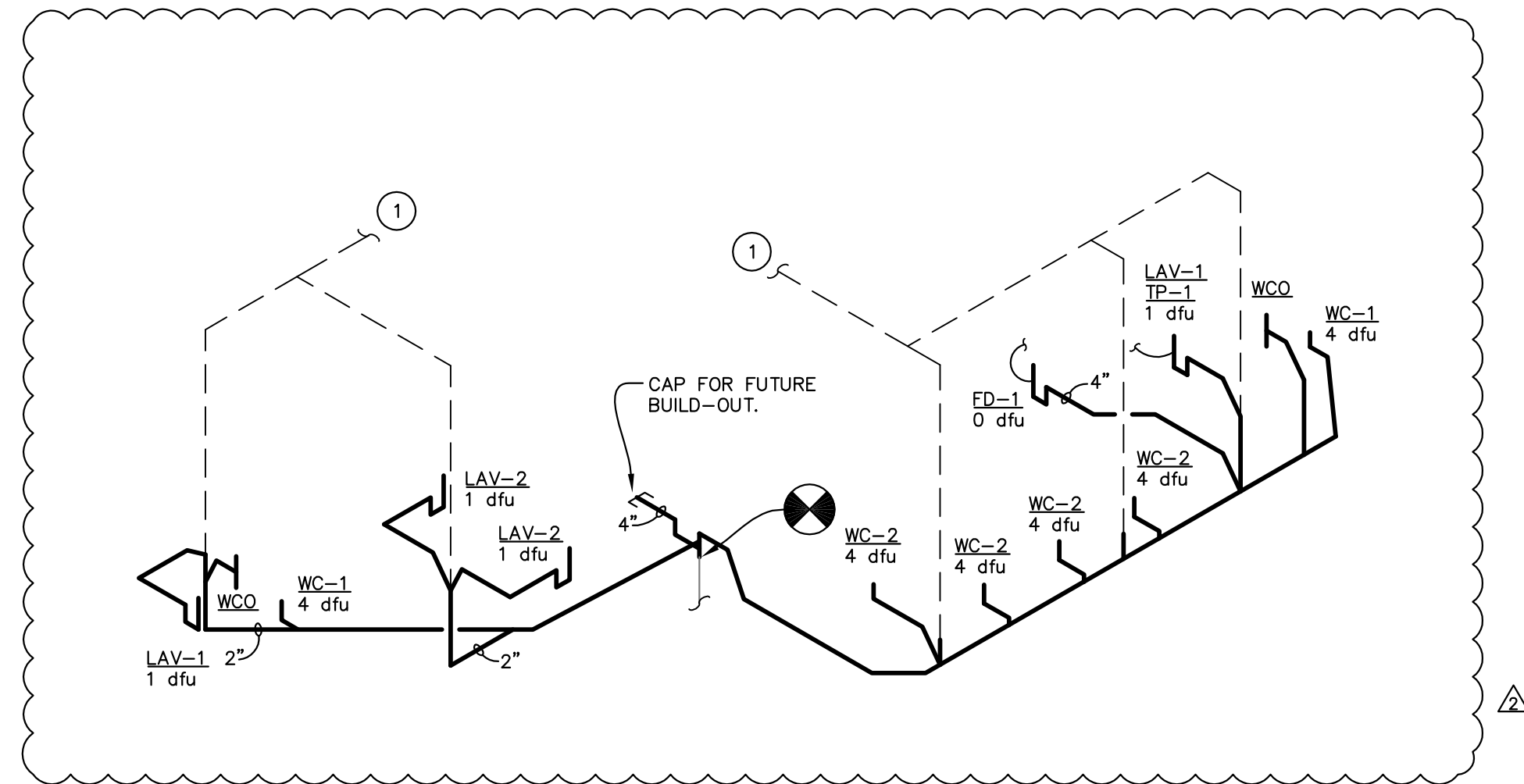
Project: 10001-2  
Date: August 04, 2010



## Construction Documents

Certificate # 8304  
 Mark E. Awmiller, P.E. 53973

Signature \_\_\_\_\_ Date \_\_\_\_\_



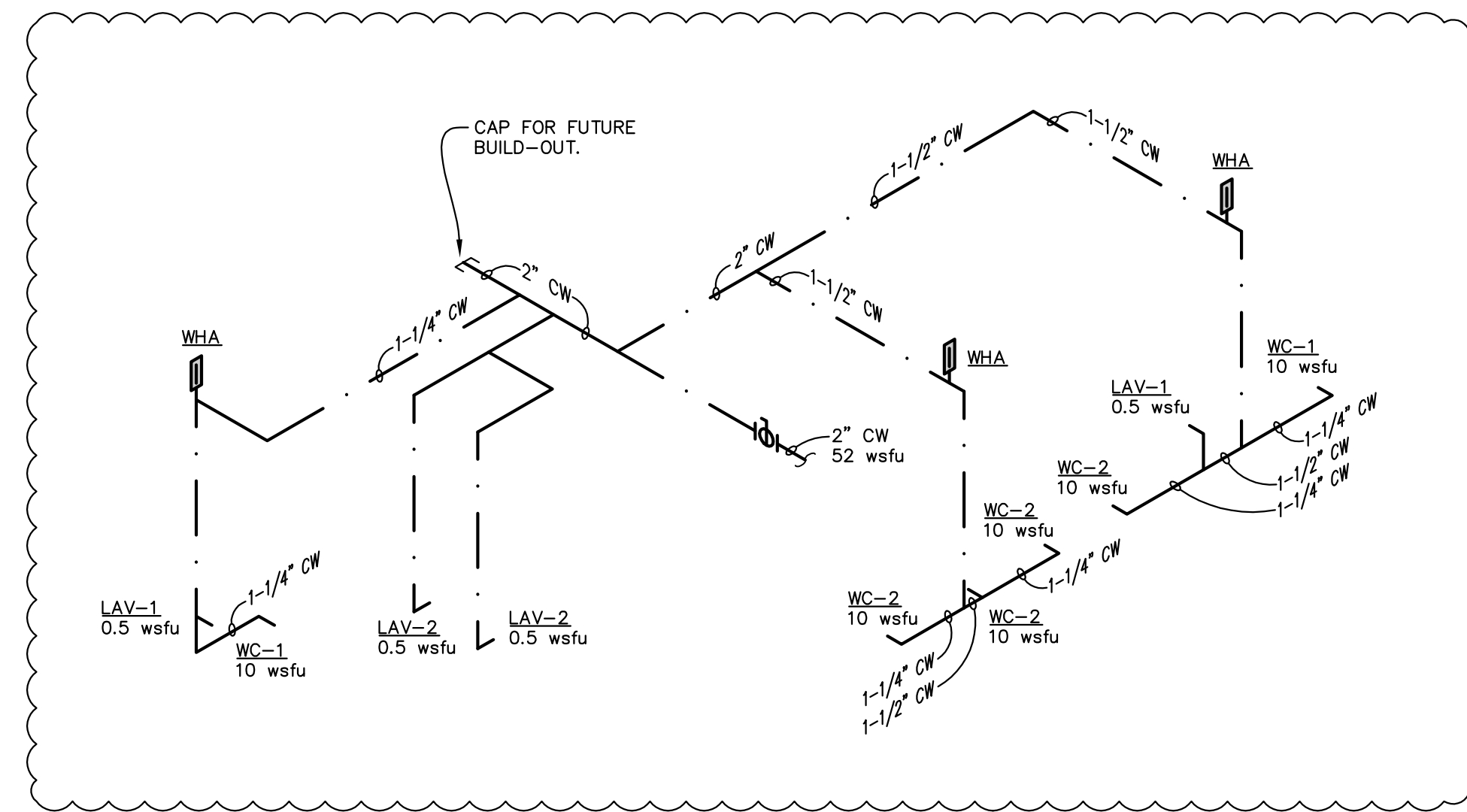
**DRAWING NOTES:**

- ① ROUTE NEW VENT PIPING TO EXISTING VENT SYSTEM. CONTRACTOR TO FIELD VERIFY LOCATION FOR POINT OF CONNECTION.

NOTE: ALL WASTE PIPING SHALL BE 4" AND ALL VENT PIPING SHALL BE 2" UNLESS NOTED OTHERWISE.

**P1** Waste and Vent Isometric

SCALE: None



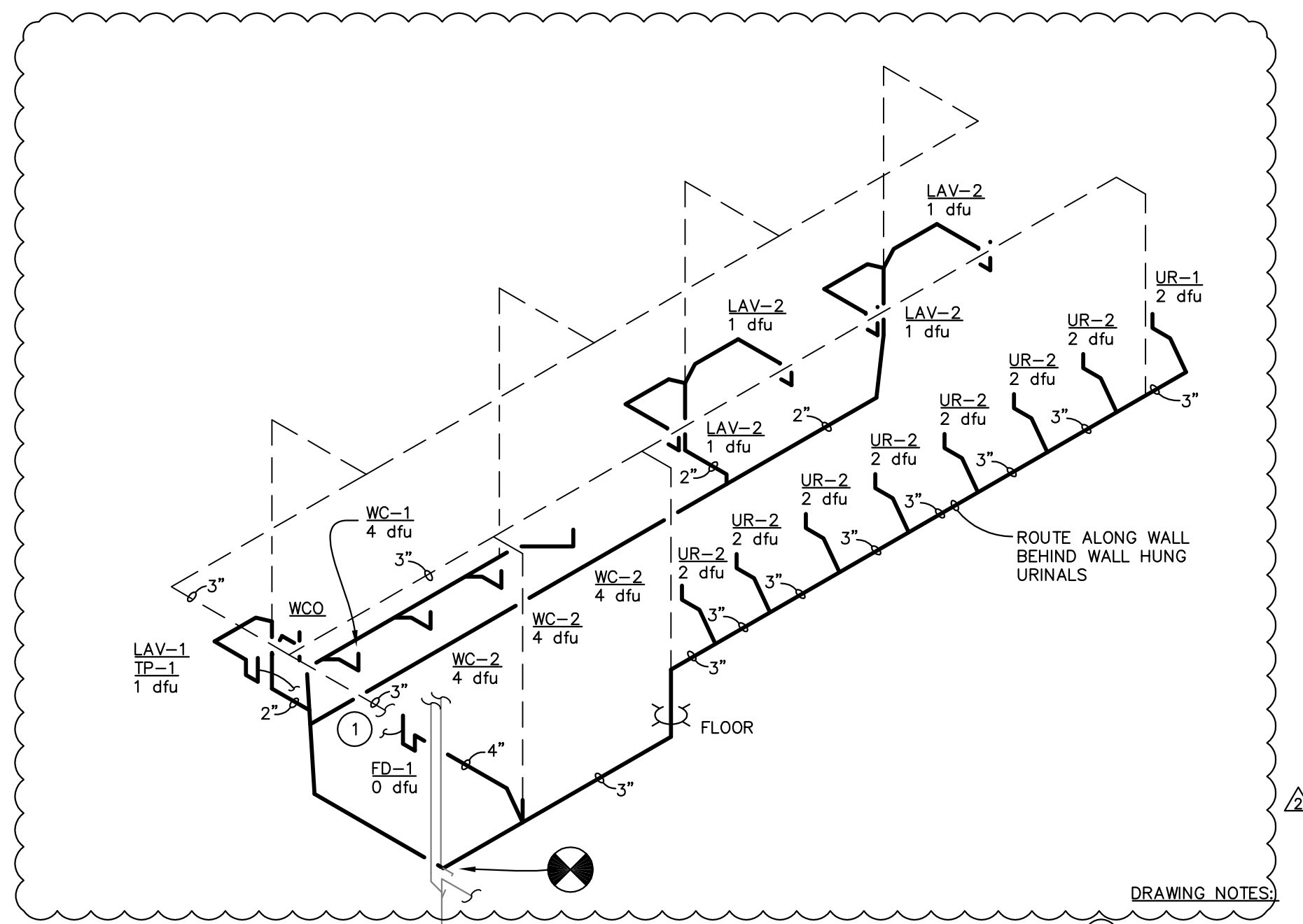
**DRAWING NOTES:**

- ① PLUMBING CONTRACTOR TO PROVIDE TAG FOR T-BAR WITH LOCATION OF ISOLATION VALVE AND SERVICE VALVE. ROUTE TO EXISTING COLD WATER SERVICE. CONTRACTOR TO FIELD VERIFY LOCATION FOR POINT OF CONNECTION.

NOTE: ALL COLD WATER AND ALL HOT WATER PIPING SHALL BE 1/2" UNLESS NOTED OTHERWISE.

**P3** Domestic Water Isometric

SCALE: None



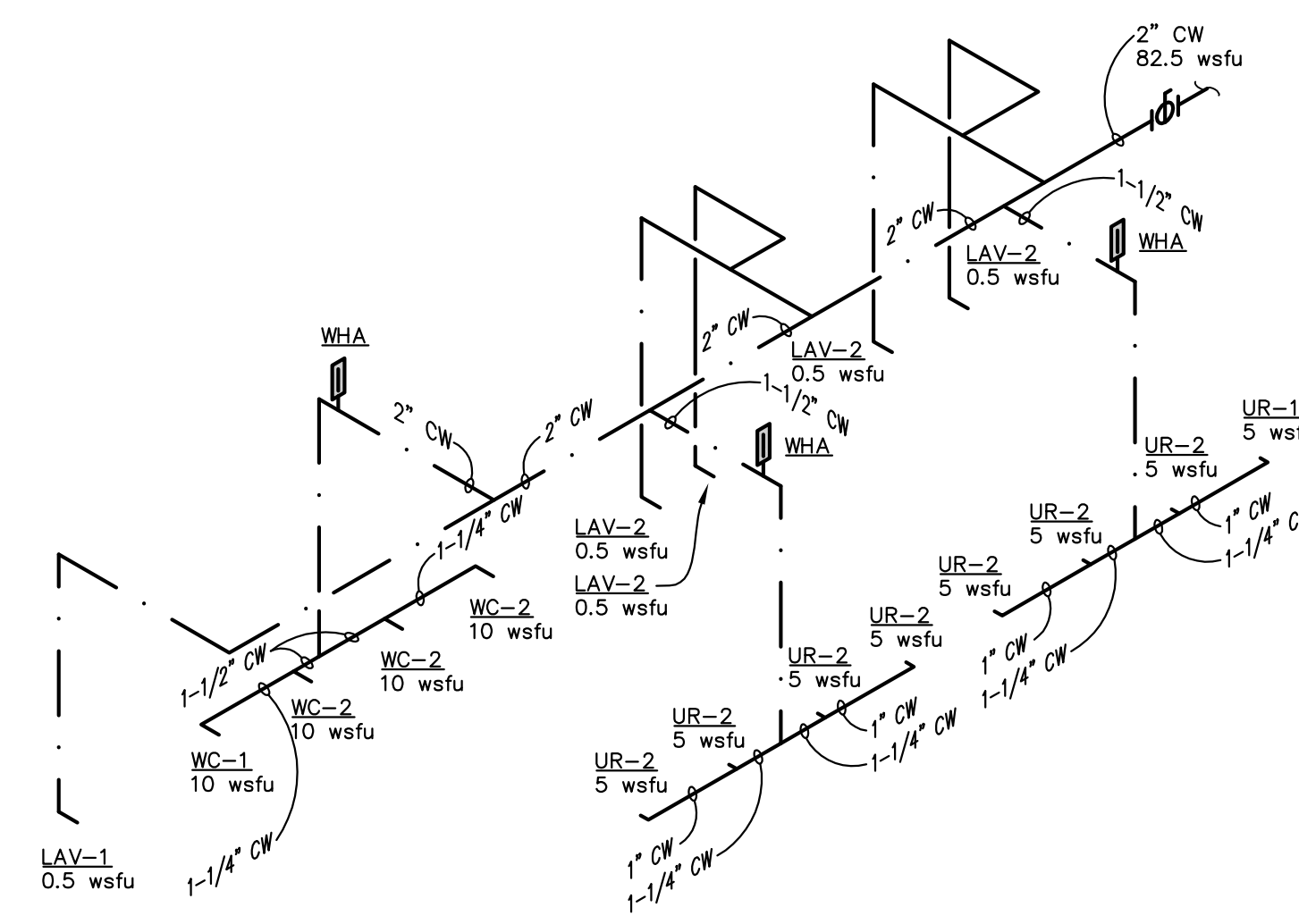
**DRAWING NOTES:**

- ① ROUTE NEW VENT PIPING TO EXISTING VENT SYSTEM. CONTRACTOR TO FIELD VERIFY LOCATION FOR POINT OF CONNECTION.

NOTE: ALL WASTE PIPING SHALL BE 4" AND ALL VENT PIPING SHALL BE 2" UNLESS NOTED OTHERWISE.

**P2** Waste and Vent Isometric

SCALE: None



**DRAWING NOTES:**

- ① PLUMBING CONTRACTOR TO PROVIDE TAG FOR T-BAR WITH LOCATION OF ISOLATION VALVE AND SERVICE VALVE. ROUTE TO EXISTING COLD WATER SERVICE. CONTRACTOR TO FIELD VERIFY LOCATION FOR POINT OF CONNECTION.

NOTE: ALL COLD WATER AND ALL HOT WATER PIPING SHALL BE 1/2" UNLESS NOTED OTHERWISE.

**P4** Domestic Water Isometric

SCALE: None

## ST. PETERSBURG KENNEL CLUB

Renovation

Project Location:  
 10490 Gandy Blvd  
 St. Petersburg, Florida 33702

### REVISIONS

No.	Date	Revision
△	09-20-10	Fixture Count Reduction

Drawn By: MES AR  
 Checked By: MEA MEA

## Isometrics - Plumbing

# P900

Project: 10001-2  
 Date: August 04, 2010

## ST. PETERSBURG KENNEL CLUB

Renovation

Project Location:  
10490 Gandy Blvd  
St. Petersburg, Florida 33702

### REVISIONS

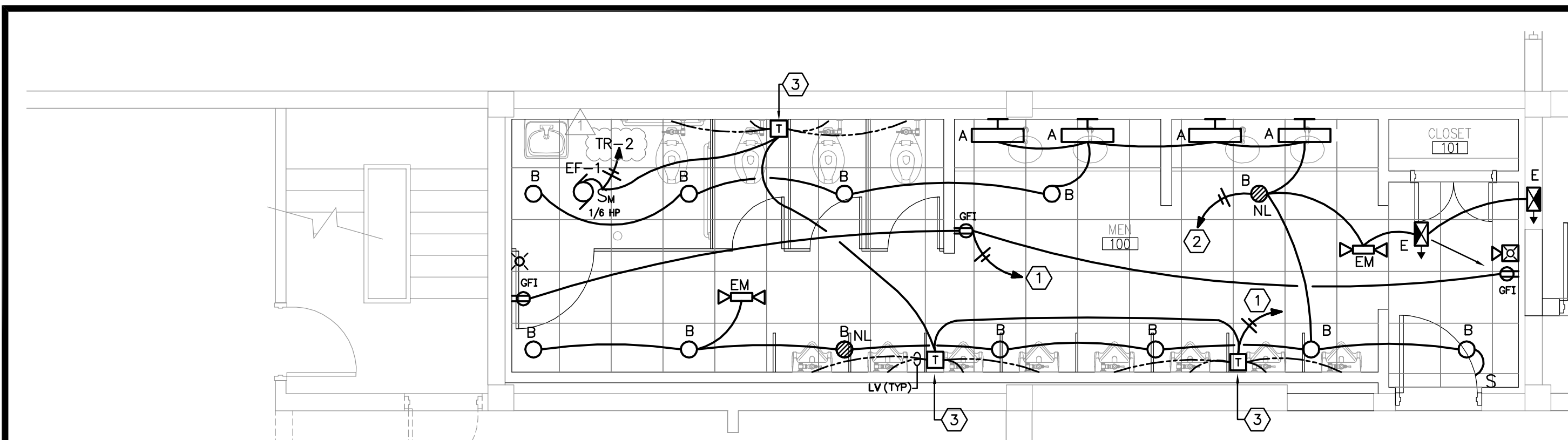
No.	Date	Revision
1	8/23/2010	REVISE FAN CKT
2	9/20/2010	REVISE WOMENS ROOM

Drawn By:  
Checked By:

Grandstand Restrooms  
Floor Plan - Electrical

# E100

Project: 10001-2  
Date: August 04, 2010



### ELECTRICAL PLAN – ENLARGED MENS ROOM

SCALE: 1/4"=1'-0"

#### FIRE ALARM SYSTEM NOTE

THE EXISTING GE-EST DIGITAL ADDRESSABLE VOICE EVAC FIRE ALARM SYSTEM WILL REQUIRE MODIFICATIONS TO INCLUDE THE AREAS OF RENOVATION SHOWN. IN ADDITION THE LOCAL AHJ MAY REQUIRE ADDITIONAL PULL STATIONS OR DEVICES IN THIS AREA OF THE BUILDING. THE FIRE ALARM CONTRACTOR AND THE EC SHALL MEET WITH THE FIRE MARSHAL TO DETERMINE THE EXACT SCOPE OF WORK REQUIRED. THE BASE BID WILL ONLY INCLUDE CONNECTION OF THE DEVICES SHOWN TO THE EXISTING FIRE ALARM SYSTEM AND PROGRAMMING THE SYSTEM TO INCLUDE THE NEW DEVICES. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A REVISED COST BASED ON ANY ADDITIONAL EQUIPMENT REQUIRED AFTER MEETING WITH THE LOCAL AHJ.

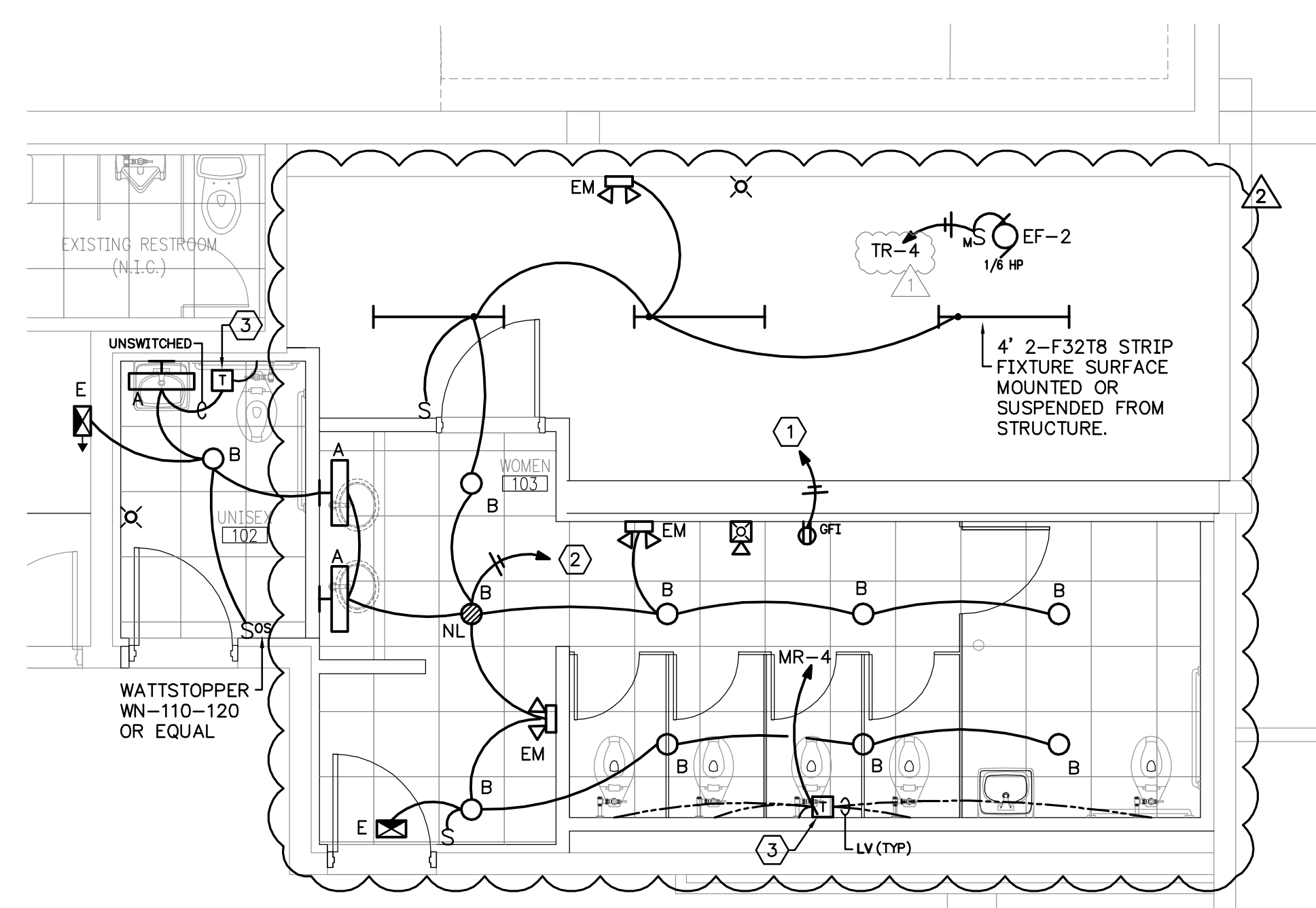
THE FIRE ALARM CONTRACTOR SHALL PROVIDE ALL SUBMITTALS REQUIRED BY THE LOCAL AHJ INCLUDING POINT TO POINT WIRING, BATTERY CALCULATIONS, ETC. THESE DOCUMENTS ARE SEPARATE FROM AND IN ADDITION TO THE ELECTRICAL CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL SUBMIT A COPY OF THE ABOVE DOCUMENTS TO THE ENGINEER FOR REVIEW ONLY.

#### PROJECT COORDINATION NOTES

- BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF WORK. THE SUBMISSION OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT OR MATERIALS REQUIRED, OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD AN EXAMINATION BEEN MADE, WILL NOT BE ALLOWED.
- ALL EXISTING CIRCUITS TO REMAIN SHALL BE RECONNECTED WHETHER INDICATED OR NOT ON PROJECT DOCUMENTS.
- NEW AND EXISTING CIRCUIT DESIGNATIONS MAY NOT REPRESENT ACTUAL FIELD CONDITIONS. THEY ARE INTENDED FOR REFERENCE ONLY.
- COORDINATE WITH OTHER TRADES FOR ITEMS IN THEIR SCOPE OF WORK WHICH WOULD REQUIRE ELECTRICAL WORK (DISCONNECTION/RECONNECTION, ETC.) AND ARE NOT INDICATED ON THE ELECTRICAL PLANS.

#### ELECTRICAL PLAN NOTES

- 1/2" CONDUIT WITH 2#12, 1#12. CONNECT TO EXISTING RECEPTACLE CIRCUIT ABANDONED DURING DEMOLITION.
- 1/2" CONDUIT WITH 2#12, 1#12. CONNECT TO EXISTING LIGHTING CIRCUIT ABANDONED DURING DEMOLITION.
- TRANSFORMERS FOR FLUSH VALVES PROVIDED BY MECHANICAL. EC SHALL INSTALL TRANSFORMER AND PROVIDE MATERIALS AND LABOR TO CONNECT FLUSH VALVES TO TRANSFORMER. CONSULT INSTALLATION INSTRUCTIONS FOR WIRING DETAILS. TYPICALLY 1 TRANSFORMER WILL POWER 6 TOILETS OR 4 URINALS. COORDINATE ELECTRICAL ROUGH IN WITH MECHANICAL. COORDINATE LOCATION OF TRANSFORMERS WITH JIM LYLE AT DERBY LANE PRIOR TO ROUGH IN, TO ALLOW FOR EASY ACCESS FOR ROUTINE MAINTENANCE AFTER ALL PARTITIONS AND OTHER OBSTRUCTIONS ARE INSTALLED.
- DISTRIBUTION PANEL "DP" IS LOCATED IN THE GROUND LEVEL ELECTRICAL ROOM. CONTRACTOR MAY USE EXISTING CONDUIT SUPPORTS ON THE LOWER LEVEL TO SUPPORT NEW CONDUIT. COORDINATE WITH JIM LYLE AT DERBY LANE FOR ROUTING OF NEW CONDUIT.
- SEE ENLARGED VIEW OF MENS ROOM, THIS SHEET.
- 3/4" CONDUIT WITH 3#6, 1#10 E.G. CU CONDUCTORS. PROVIDE NEW 70 AMP 3-POLE SQ D "FA" CIRCUIT BREAKER IN L-LINE DISTRIBUTION PANEL "DP". MATCH AIC RATING OF EXISTING CIRCUIT BREAKERS.
- 3/4" CONDUIT WITH 3#6, 1#10 E.G. CU CONDUCTORS. PROVIDE NEW 70 AMP 3-POLE SQ D "OO" CIRCUIT BREAKER IN PANEL "TR". MATCH AIC RATING OF EXISTING CIRCUIT BREAKERS.
- 3/4" CONDUIT WITH 3#6, 1#10 E.G. CU CONDUCTORS. PROVIDE NEW 50 AMP 3-POLE CIRCUIT BREAKER IN PANEL "TR". MATCH AIC RATING OF EXISTING CIRCUIT BREAKERS.
- EXIT LIGHT, DOUBLE SIDED, EDGE MOUNTED AT 96" AFF. CONNECT TO NEAREST UNSWITCHED NIGHT LIGHTING OR EMERGENCY CIRCUIT. THE DEVICES SHOWN MOUNTED TO COLUMN MAY BE SHIFTED TO THE WALL ADJACENT TO THE COLUMN IF NECESSARY TO AVOID RUNNING EXPOSED CONDUIT ON FACE OF A SOLID COLUMN. LOCATE STROBE WHERE COLUMN DOES NOT BLOCK VISIBILITY.
- EC SHALL MEASURE REAMAINING LOAD ON PANEL "TR" AFTER ALL UNUSED EQUIPMENT IS REMOVED. CONTACT ELECTRICAL ENGINEER WITH LOAD INFORMATION. IF SUFFICIENT CAPACITY EXISTS EDH-1 WILL BE CIRCUITED TO PANEL "TR" INSTEAD OF PANEL "DP". EC SHALL PROVIDE ALTERNATE PRICE TO CIRCUIT EDH-1 TO PANEL "TR" INSTEAD OF PANEL "DP". IN THIS CASE CIRCUIT SHALL MATCH NOTE 7.

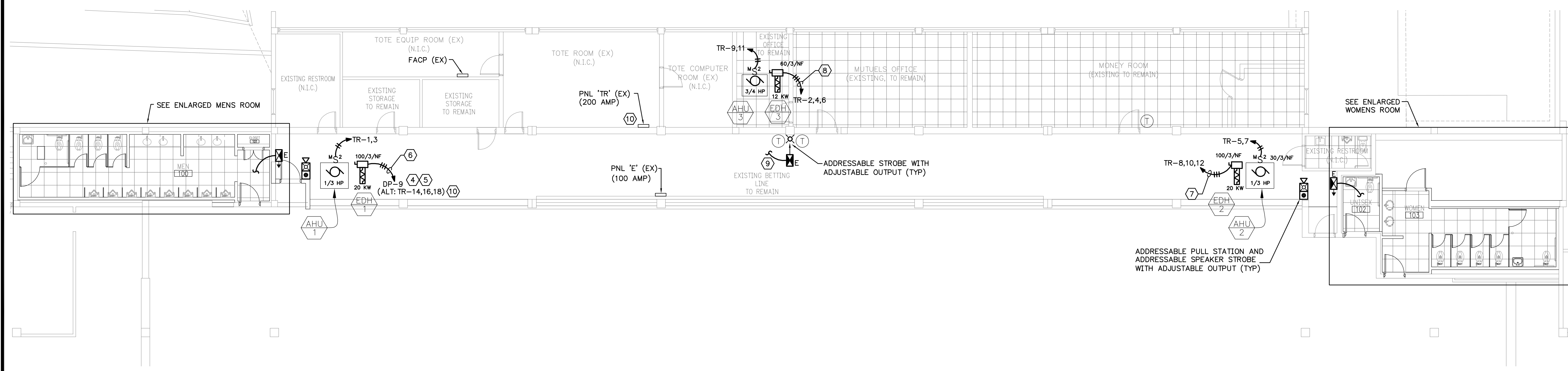


### ELECTRICAL PLAN – ENLARGED WOMENS ROOM

SCALE: 1/4"=1'-0"

#### GENERAL ELECTRICAL NOTES

- ALL WIRING SHALL BE RUN IN EMT, PER OWNER. FLEXIBLE CONDUIT (ANY TYPE) SHALL ONLY BE USED FOR "WHIPS" TO CONNECT TO EQUIPMENT.
- CIRCUIT NUMBERS AND PANEL DESIGNATIONS MAY NOT REFLECT ACTUAL FIELD CONDITIONS. EC SHALL PROVIDE THE OWNER WITH MARKED UP DRAWINGS SHOWING ACTUAL PANEL NOMENCLATURE AND CIRCUIT NUMBERS AT THE COMPLETION OF THEIR WORK.
- EC SHALL USE EXISTING CIRCUITS MADE AVAILABLE DURING DEMOLITION BEFORE RUNNING NEW CIRCUITS. UTILIZE PANEL "TR" FOR NEW CIRCUITS IF NEEDED. VERIFY WITH JIM LYLE AT DERBY LANE PRIOR TO ROUGH IN OF NEW CIRCUITS.
- ALL CIRCUITS SHALL BE 20 AMP WITH #12 CU CONDUCTORS, UNLESS OTHERWISE NOTED. PROVIDE NEW 20 AMP CIRCUIT BREAKERS IN EXISTING PANELS IF NO SPARES ARE AVAILABLE. MATCH AIC RATING OF EXISTING CIRCUIT BREAKERS.
- ALL FIRE ALARM SYSTEM WORK SHALL BE PERFORMED BY THE OWNERS PREFERRED VENDOR AND SHALL INCLUDE ALL MATERIALS, LABOR, SITE VISITS AND PROGRAMMING REQUIRED TO MAKE A COMPLETE AND FUNCTIONAL SYSTEM. VENDOR SHALL BE AN AUTHORIZED VENDOR FOR THE MANUFACTURER OF THE EXISTING SYSTEM (GE-EST). ALL NEW COMPONENTS SHALL BE GE-EST.



### FLOOR PLAN – ELECTRICAL

SCALE: 1/8"=1'-0"

